# PRELIMINARY & FINAL MAJOR SITE PLAN
FOR
# ONE SCHOOL GLOBAL
## PROPOSED K-12 GRADE SCHOOL

BLOCK 2104, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP , MORRIS COUNTY, NEW JERSEY


**APPLICANT**
ROSS MARKHAM
ONE SCHOOL GLOBAL
ROSS.MARKHAM@NA.ONESCHOOLGLOBAL.COM

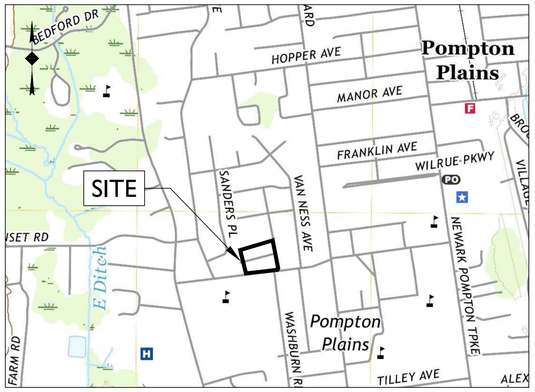
**OWNER**
PASCACK VALLEY LEARNING CENTER
60 SUNSET ROAD
POMPTON PLAINS, NEW JERSEY 07444


**APPROVAL BLOCK**

APPROVED BY THE TOWNSHIP OF PEQUANNOCK ZONING BOARD

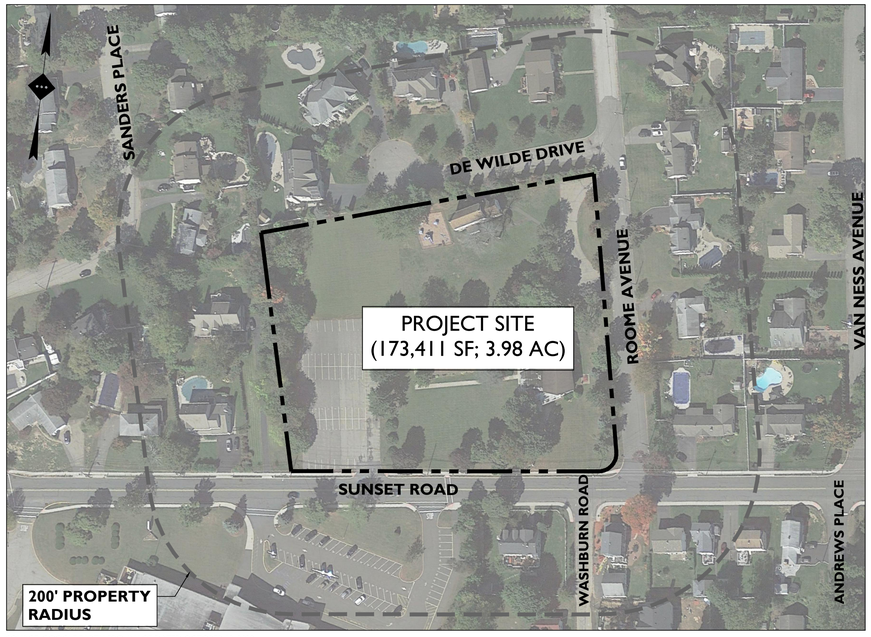
CHAIRPERSON DATE

SECRETARY DATE



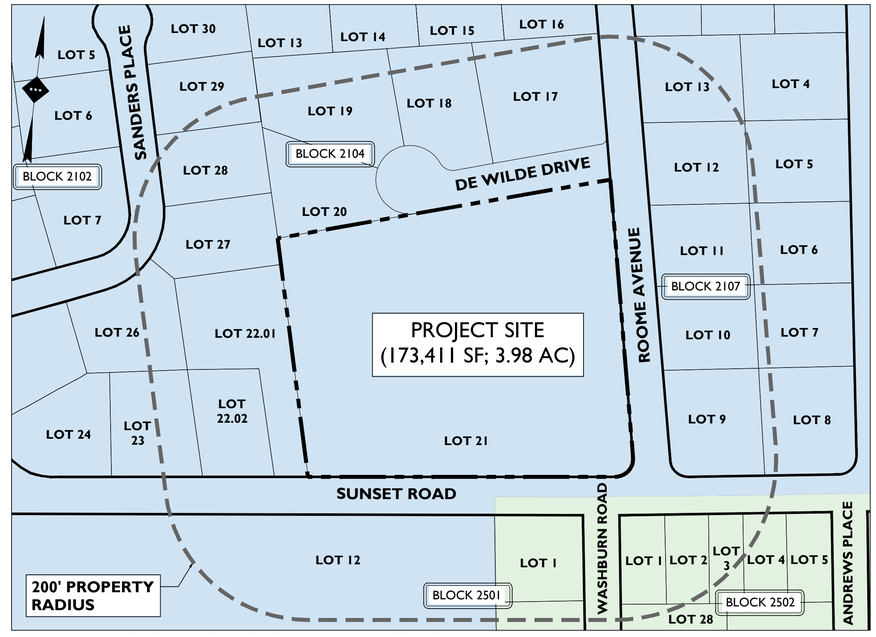

SOURCE: USGS QUADRANGLE MAPS 7.5 MINUTE SERIES, POMPTON PLAINS, NEW JERSEY - NEW JERSEY DATED 2019

## LOCATION / KEY MAP
SCALE: 1" = 1000'±




SOURCE: GOOGLE EARTH PRO, IMAGE DATED OCTOBER 13, 2020.

## AERIAL MAP
SCALE: 1" = 100'±




SOURCE: MAP, SHEETS 21 & 25, DATED SEPTEMBER 1, 2021 & PEQUANNOCK TOWNSHIP ZONING MAP, DATED APRIL, 2021.

## TAX & ZONING MAP
SCALE: 1" = 100'±

**ZONING LEGEND**

ZONE R-15

ZONE R-11

**TOWNSHIP OF PEQUANNOCK 200' PROPERTY OWNERS LIST**

| BLOCK | LOT | OWNER | OWNER'S ADDRESS |
|---|---|---|---|
| 2104 | 20 | WALLACE, JOHN A/ CAROLYN | 8 DE WILDE DR POMPTON PLAINS NJ 07444 |
| 2104 | 19 | JACHERA, ROBERT M & ANN M | 6 DE WILDE DR POMPTON PLAINS NJ 07444 |
| 2104 | 18 | NACINOVICH, KEITH & MICHELE | 4 DE WILDE DR POMPTON PLAINS NJ 07444 |
| 2104 | 17 | ANDRIKANICH, MICHAEL/ALYSON | 11 ROOME AVE POMPTON PLAINS, NJ 07444 |
| 2104 | 16 | DRIESSE, JOHN H. & CLAUDIA | 7 VAN SAUN PL POMPTON PLAINS N J 07444 |
| 2104 | 29 | LATTA, NANCY C | 10 SANDERS PL POMPTON PLAINS N J 07444 |
| 2104 | 28 | TEDESCO, JOHN A & DANIELLE | 8 SANDERS PL POMPTON PLAINS N J 07444 |
| 2104 | 27 | KNAPP, ROBERT G & J A | 6 SANDERS PL POMPTON PLAINS N J 07444 |
| 2104 | 22.01 | HERFORTH, MARK & CHRISTINE | 72 SUNSET RD POMPTON PLAINS, NJ 07444 |
| 2104 | 22.02 | FRIEDMAN, SETH/SCHWARTZ, BARRIE | 74 SUNSET RD POMPTON PLAINS, NJ 07444 |
| 2104 | 23 | GRIFFIN, JAMES A/CABRERA, JANET | 78 SUNSET RD POMPTON PLAINS NJ 07444 |
| 2104 | 26 | MOLOUGHNEY, JOSEPH & JOANNE | 4 SANDERS PL POMPTON PLAINS NJ 07444 |
| 2107 | 13 | ELEFANTE, JOSEPH | 10 ROOME AVE POMPTON PLAINS NJ 07444 |
| 2107 | 12 | BOROVSKIS, ALEXANDER & SUSAN ANN | 8 ROOME AVE POMPTON PLAINS NJ 07444 |
| 2107 | 11 | SACHDEVA, SIMRAN/PANDEY, AVNEESH | 6 ROOME AVE POMPTON PLAINS, NJ 07444 |

**TOWNSHIP OF PEQUANNOCK 200' PROPERTY OWNERS LIST**

| BLOCK | LOT | OWNER | OWNER'S ADDRESS |
|---|---|---|---|
| 2107 | 10 | D'ANDREA, RICHARD & DEBBI LYN | 4 ROOME AVE POMPTON PLAINS NJ 07444 |
| 2107 | 9 | WALTER, RICHARD M & MEGAN A | 50 SUNSET RD POMPTON PLAINS NJ 07444 |
| 2107 | 4 | BURBANK, IRENE | 9 VAN NESS AVE POMPTON PLAINS N J 07444 |
| 2107 | 5 | FERNANDEZ, JOHN P T & MULDER, CHRIS | 7 VAN NESS AVE POMPTON PLAINS N J 07444 |
| 2107 | 6 | DELMO, LOIS | 5 VAN NESS AVE POMPTON PLAINS, NJ 07444 |
| 2107 | 7 | BAILEY, ROBERT & BARBARA | 3 VAN NESS AVE POMPTON PLAINS N J 07444 |
| 2107 | 8 | NUCCI, CORIE AKA ZODDA, CORIE | 48 SUNSET RD POMPTON PLAINS NJ 07444 |
| 2501 | 12 | PEQ TWP BD OF ED - HIGH SCHOOL | 85 SUNSET RD POMPTON PLAINS NJ 07444 |
| 2501 | 1 | LAFOON, LONNE/DEFABIIS, DONNA | 63 SUNSET RD POMPTON PLAINS, NJ 07444 |
| 2501 | 2 | POSTOYAN, VIKEN & BARBARA ANN | 51 WASHBURN RD POMPTON PLAINS N J 07444 |
| 2502 | 1 | NACION, JOHN & KRISTIN LYN | 57 SUNSET RD POMPTON PLAINS N J 07444 |
| 2502 | 28 | SELA, ZULFIRET | P O BOX 4167 WAYNE NJ 07470 |
| 2502 | 2 | WU, CHI CHENG & BETTY | 55 SUNSET RD POMPTON PLAINS N J 07444 |
| 2502 | 3 | BLOIS, RALPH J & E J | 53 SUNSET RD POMPTON PLAINS N J 07444 |
| 2502 | 4 | VANDER GOOT, ROBERT | 51 SUNSET RD POMPTON PLAINS N J 07444 |

PLANS PREPARED BY:


STONEFIELD engineering & design
Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone 201.340.4468 · Fax 201.340.4472


Know what's **below** **Call** before you dig.

**PLAN REFERENCE MATERIALS:**

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
   - BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN, DATED 07/08/2022 LAST REVISED 07/26/2022.
   - ARCHITECTURAL PLANS PREPARED BY GREGORY RALPH ARCHITECT, DATED 09/23/2022.
   - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, DATED OCTOBER 13, 2020.
   - LOCATION MAP OBTAINED FROM UNITED STATES GEOLOGICAL SURVEY QUADRANGLE MAP 7.5 MINUTE, POMPTON PLAINS, NEW JERSEY, NEW JERSEY DATED 2019.
   - TAX MAPS OBTAINED FROM MAP, SHEETS 21 & 25, DATED SEPTEMBER 1, 2021
   - ZONING MAP OBTAINED FROM PEQUANNOCK TOWNSHIP ZONING MAP, DATED APRIL, 2021
2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

**SHEET INDEX**


| DRAWING TITLE | SHEET # |
|---|---|
| COVER SHEET | C-1 |
| DEMOLITION PLAN | C-2 |
| SITE PLAN | C-3 |
| GRADING PLAN | C-4 |
| STORMWATER MANAGEMENT PLAN | C-5 |
| UTILITY PLAN | C-6 |
| LIGHTING PLAN | C-7 |
| SOIL EROSION & SEDIMENT CONTROL PLAN | C-8 |
| LANDSCAPING PLAN | C-9 & C-10 |
| CONSTRUCTION DETAILS | C-11 - C-14 |


| ISSUE | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 5 | 04/06/2023 | EC | FOR MUNICIPAL SUBMISSION |
| 4 | 02/15/2023 | PK | FOR MUNICIPAL SUBMISSION |
| 3 | 12/02/2022 | PK | FOR COUNTY SUBMISSION |
| 2 | 11/08/2022 | PK | FOR MUNICIPAL SUBMISSION |
| 1 | 10/17/2022 | PK | FOR MUNICIPAL SUBMISSION |

NOT APPROVED FOR CONSTRUCTION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ONE SCHOOL GLOBAL
PROPOSED K-12 GRADE SCHOOL
BLOCK 2104, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY · JAKE MODESTOW · No. GE56119 · LICENSED PROFESSIONAL ENGINEER

JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER
Jake Modestow
Jake Modestow 2023.04.10
23:22:06 -04'00'

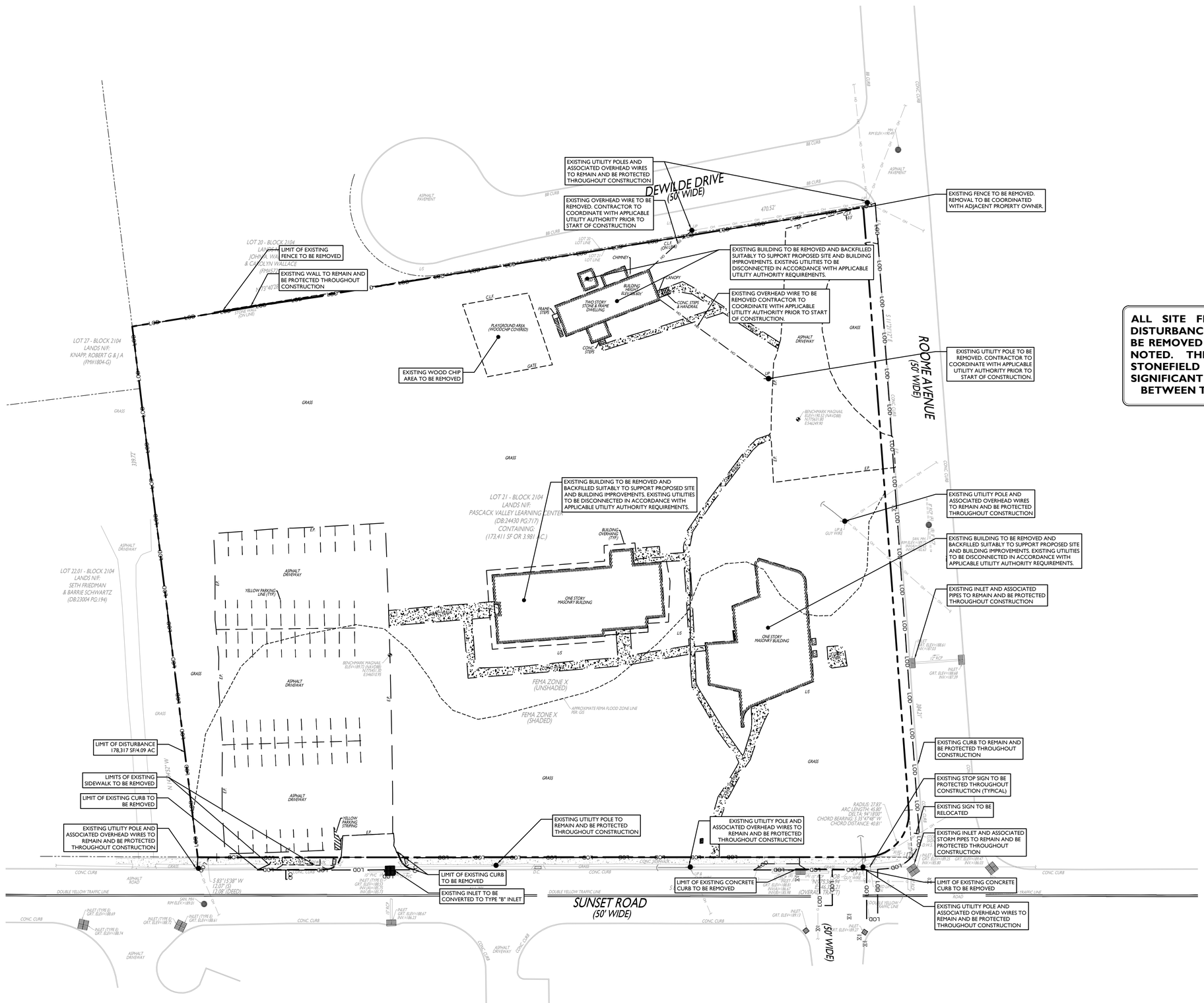
STONEFIELD engineering & design

SCALE: AS SHOWN | PROJECT ID: RUT-220209

TITLE: COVER SHEET

DRAWING: C-1

Z:\RUT\PEQUOR\RUT220209 ONE SCHOOL GLOBAL - 60 SUNSET ROAD, PEQUANNOCK NJ\CADD\PLOT\COVER.DWG




| SYMBOL | DESCRIPTION |
|---|---|
| — — — — — | FEATURE TO BE REMOVED / DEMOLISHED |
| LOD | LIMIT OF DISTURBANCE |

**ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS**

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## DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

| ISSUE | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 5 | 04/06/2023 | EC | FOR MUNICIPAL SUBMISSION |
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PRELIMINARY & FINAL MAJOR SITE PLANS

# ONE SCHOOL GLOBAL

## PROPOSED K-12 GRADE SCHOOL

BLOCK 2104, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY · JAKE MODESTOW · No. GE56119 · PROFESSIONAL ENGINEER

JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER
Jake Modestow 2023.04.10 13:22:37-04'00'

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: RUT-220209

TITLE: **DEMOLITION PLAN**

DRAWING: **C-2**

Z:\RUTHERFORD\RUT220209\RUT-220209 ONE SCHOOL GLOBAL - 60 SUNSET ROAD, PEQUANNOCK NJ\CADD\PLOT\XXX-XD-DEMOLD.DWG

## CONDITIONAL USE REQUIREMENTS

| CODE SECTION | REQUIRED | PROPOSED |
|---|---|---|
| §360-46.G. | MINIMUM LOT SIZE: 5 AC | 3.98 AC (V) |
| §360-46.G. | MINIMUM FRONTAGE: 50 FT | 456.3 FT |
| §360-46.G. | MINIMUM LOT WIDTH: 300 FT | 456.3 FT |
| §360-46.G. | MAXIMUM HEIGHT: 35 FT/2 STORIES | 21.9 FT |
| §360-46.G. | MINIMUM SIDE YARD SETBACK: 50 FT | 105.3 FT |
| §360-46.G. | MINIMUM REAR YARD SETBACK: 50 FT | 154.2 FT |
| §360-46.G. | SIDE YARD AND REAR YARD BUFFER: 25 FT | 29.9 FT |
| §360-56.E.(5) | NO PARKING FACILITIES FOR CONDITIONAL USES PERMITTED IN RESIDENTIAL ZONES MAY BE ESTABLISHED WITHIN THE FRONT YARD SETBACK. | 50.0 FT |

(V) VARIANCE
(N/A) NOT APPLICABLE

## LAND USE AND ZONING

**BLOCK 2104, LOT 21**

**RESIDENCE DISTRICT (R-15)**

**PROPOSED USE**

| | |
|---|---|
| SCHOOL | CONDITIONAL USE (V) |
| PRIVATE SPORT FACILITIES | PERMITTED ACCESSORY USE |

| ZONING REQUIREMENT | REQUIRED | EXISTING | PROPOSED |
|---|---|---|---|
| MINIMUM LOT AREA | 15,000 SF (0.34 AC) | 173,411 SF (3.98 AC) | 173,411 SF (3.98 AC) |
| MINIMUM LOT WIDTH | 100 FT | 456.3 FT | 456.3 FT |
| MINIMUM LOT DEPTH | 150 FT | 339.7 FT | 339.7 FT |
| MAXIMUM IMPERVIOUS COVERAGE | 35% (60,694 SF) | 27.0% (46,766 SF) | 39.0% (67,653 SF) (V) |
| MAXIMUM BUILDING COVERAGE | 17% (29,480 SF) | 6.2% (10,688 SF) | 16.0% (27,825 SF) |
| MAXIMUM BUILDING HEIGHT | 2.5 STORIES (35 FT) | 2 STORIES | 21.9 FT |
| MINIMUM FRONT YARD SETBACK | 50 FT | 54.0 FT | 62.7 FT |
| MINIMUM SIDE YARD SETBACK (ONE) | 15 FT | 201.8 FT | 105.3 FT |
| MINIMUM SIDE YARD SETBACK (BOTH) | 35 FT | 201.8 FT | 105.3 FT |
| MINIMUM REAR YARD SETBACK | 40 FT | 10.4 FT (EN) | 154.2 FT |
| MINIMUM LOT FRONTAGE | 100 FT | 456.3 FT | 456.3 FT |

(V) VARIANCE
(EN) EXISTING NON-CONFORMITY

## OFF-STREET PARKING REQUIREMENTS

| CODE SECTION | REQUIRED | PROPOSED |
|---|---|---|
| § 360-56.A. | MINIMUM PARKING STALL SIZE: 9 FT X 18 FT | 9 FT X 18 FT |
| § 360-56.B(3) | NO DRIVEWAY SHALL BE LOCATED CLOSER THAN 25 FT TO THE NEAREST R.O.W. LINE OF ANY INTERSECTING STREET. | 42 FT |
| § 360-56.B(4) | MINIMUM DRIVEWAY WIDTH<br>ONE WAY: 14 FT<br>TWO WAY: 24 FT | 20 FT<br>N/A |
| § 360-56.B(5)A. | MINIMUM AISLE WIDTH<br>TWO-WAY: 24 FT<br>ONE-WAY: 14 FT | 24 FT<br>18 FT |
| § 360-56.C. | SIDEWALKS WITH A MINIMUM WIDTH OF 4 FT SHALL BE PROVIDED IN ALL PARKING AREAS. | 6 FT |
| § 360-56.D.8(D) | WHEN OFF-STREET PARKING AREAS ARE LOCATED ADJACENT TO A RESIDENTIAL ZONE A SOLID FENCE OR MASONRY WALL SHALL BE PROVIDED ALONG THE PROPERTY LINE. THE FENCE OR WALL SHALL BE 4-6 FT HIGH. | COMPLIES |
| § 360-56.E(5) | NO PARKING FACILITIES FOR CONDITIONAL USES MAY BE ESTABLISHED WITHIN THE FRONT YARD SETBACK | COMPLIES |
| § 360-58.B. | REQUIRED PARKING<br>SECONDARY SCHOOL: 2.5 PER CLASSROOM + 1 PER 10 STUDENTS<br>(2.5 SPACES * 7 CLASSROOMS) +(1/10 *100 STUDENTS) = 28 SPACES<br><br>ELEMENTARY : 2 PER CLASSROOM + 1 PER STAFF<br>(2 SPACES * 8 CLASSROOMS) + 12 STAFF MEMBERS = 28 SPACES<br><br>TOTAL REQUIRED = 56 SPACES | 44 SPACES (V) |
| § 360-57 | THE EQUIVALENT OF ONE LOADING SPACE SHALL BE PROVIDED FOR EACH 12,000 SF OF GROSS AREA.<br>27,825 SF * 1/12,000 SF = 2 LOADING SPACES | 2 SPACES |
| § 360-57 | MINIMUM LOADING SPACE<br>SIZE: 10 FT X 35 FT<br>HEIGHT CLEARANCE: 14 FT<br>NOT LOCATED IN FRONT YARD | 10 FT X 35 FT<br>COMPLIES<br>COMPLIES |

(V) VARIANCE
(N/A) NOT APPLICABLE
(Y) THERE SHALL BE NO ADDITIONAL PARKING REQUIREMENT FOR ANY SQUARE FOOTAGE DEVOTED SOLELY TO ANCILLARY STORAGE, OFFICE OR EMPLOYEE LUNCHROOMS/EATING CLINIC FACILITIES ON ANY MEZZANINE SPACE WITHIN THAT PORTION OF A BUILDING OCCUPIED BY THE INDIVIDUAL USE TO WHICH THE STORAGE, OFFICE AND/OR EMPLOYEE LUNCHROOM/EATING CLINIC FACILITY IN ANCILLARY.

## SIGNAGE REQUIREMENTS

| CODE SECTION | REQUIRED | PROPOSED |
|---|---|---|
| § 360-82.A(2) | NO MORE THAN ONE PERMANENT SIGN IS PERMITTED ON ANY RESIDENTIALLY USED LOT. | 4 SIGNS (V) |
| § 360-82.A(3) | MAXIMUM SIGN AREA<br>NAMEPLATE: 2 SF<br>HOME OCCUPATION: 2 SF<br>PROFESSIONAL USE: 12 SF | ATTACHED: 40 SF (V)<br>FREESTANDING: 15.1 SF (V) |
| § 360-82.A(4) | SETBACK FROM PROPERTY LINE: 10 FT<br>MAX HEIGHT: 3 FT<br>MAX HEIGHT (PROFESSIONAL USE): 4 FT | 20.0 FT<br>6.5 FT (V) |
| § 360-82.D(2) | SIGNS PERMITTED FOR INSTITUTIONAL USES<br>1 FREESTANDING SIGN<br>1 CHANGEABLE LETTER SIGN<br>1 ATTACHED SIGN | 2 FREESTANDING SIGNS (V)<br>2 ATTACHED SIGNS (V) |
| § 360-82.D(3) | SIGN REQUIREMENTS<br>FREESTANDING: 20 SF<br>ATTACHED: 1% OF BUILDING FACADE<br>BUILDING FACADE = 5,620 SF<br>5,620 SF * (0.01) = 56.2 SF | FREESTANDING SIGN: 15.1 SF<br>ATTACHED SIGN 1: 40 SF<br>ATTACHED SIGN 2: 18 SF |
| § 360-82.D(4) | FREESTANDING SIGN REQUIREMENTS<br>MAXIMUM HEIGHT: 8FT<br>MINIMUM SETBACK FROM PROPERTY LINE: 20 FT | 6.5 FT<br>20.0 FT |
| § 360-82.D(4) | NO ATTACHED SIGN SHALL BE INSTALLED SUCH THAT THE TOP EDGE IS HIGHER THAN 14 FT MEASURED FROM THE GROUND | 16 FT (V) |
| § 360-82.D(5) | NO SIGN SHALL BE ILLUMINATED BETWEEN THE HOURS OF 10:00 PM AND 7:00 AM | COMPLIES |
| § 360-82.D(6) | ELECTRONIC MESSAGE CENTERS/BOARDS ARE SPECIFICALLY PROHIBITED | COMPLIES |
| § 360-82.E(1) | SIGNS THAT INDICATE THE LOCATION ON SCHOOLS SHALL BE ALLOWED AT A LOCATION OTHER THAN THAT OF THE INSTITUTIONAL USE PROVIDED | COMPLIES |
| § 360-82.E(2) | DIRECTIONAL SIGN<br>MAXIMUM AREA: 3 SF | COMPLIES |

(V) VARIANCE

## GENERAL REQUIREMENTS

| CODE SECTION | REQUIRED | PROPOSED |
|---|---|---|
| §360-46.P.(1)(1) | FENCES LOCATED IN THE ESTABLISHED FRONT YARD SHALL HAVE A MAXIMUM HEIGHT OF 3 FT AND SHALL BE SETBACK A MINIMUM OF 5 FT FROM THE PROPERTY LINE | HEIGHT: 5 FT (V)<br>SETBACK: 5 FT |
| §360-46.P.(1)(2) | FENCES LOCATED IN THE SECONDARY FRONT YARD SHALL HAVE A MAXIMUM HEIGHT OF FOUR FEET AND SHALL BE SETBACK A MINIMUM OF 5 FT FROM THE PROPERTY LINE | HEIGHT: 5 FT (V)<br>SETBACK: 5 FT |
| §360-46.P.(1)(3) | A FENCE IN EXCESS OF FOUR FEET BUT NOT TO EXCEED SIX FEET IN HEIGHT SHALL BE PERMITTED IN THE SECONDARY FRONT YARD, PROVIDED THAT THE FENCE HAS A MINIMUM SETBACK OF THE REQUIRED FRONT YARD SETBACK FOR THE ZONE IN WHICH THE SITE IS LOCATED | HEIGHT: 5 FT<br>SETBACK: 3 FT (V) |
| §360-46.P.(1)(5) | FENCES WITH A MAXIMUM HEIGHT OF 6 FT ARE PERMITTED IN REAR AND SIDE YARDS WITH NO SETBACK REQUIRED, PROVIDED THAT THE FENCE IS INSTALLED ENTIRELY ON THE PROPERTY. | HEIGHT: 6 FT<br>SETBACK: 1.5 FT |
| §360-56.D.(8)(C) | INTERIOR LANDSCAPING SHALL INCLUDE LANDSCAPED STRIPS BETWEEN ROWS OF PARKING OR PARKING ISLANDS TO THE EXTENT THAT LANDSCAPED AREAS AMOUNT TO 5% OF THE TOTAL PARKING AREA<br>(21,978 TOTAL SF)*(0.05) = 1,099 SF | 1,141 SF |

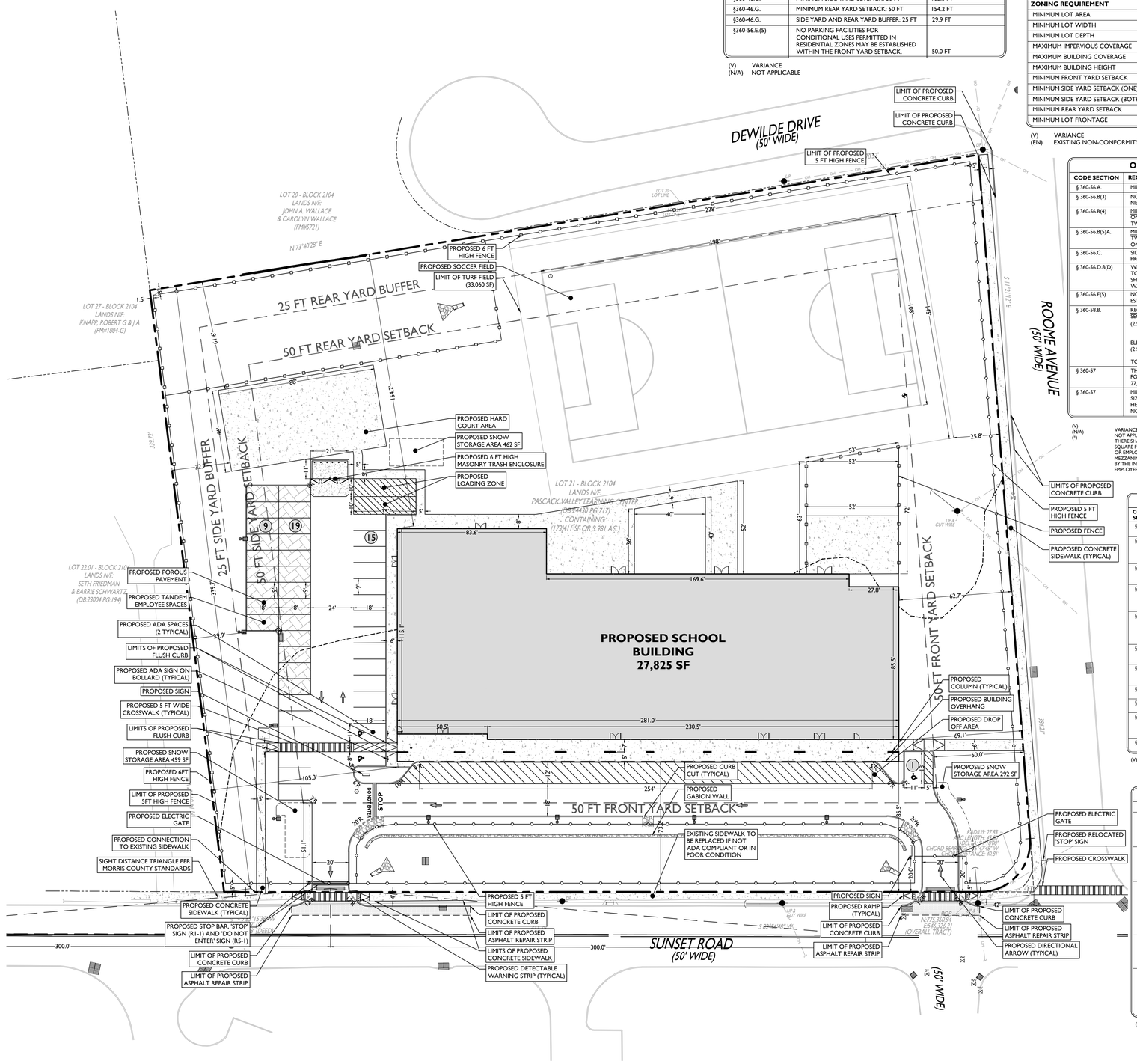
(V) VARIANCE

TRENCH NOTES:

1. ROAD TRENCH RESTORATION WIDTH SHALL BE A MINIMUM OF 10 FEET WIDE.
2. ROAD TRENCHING WILL REQUIRE A MINIMUM 6-MONTH SETTLEMENT PERIOD BEFORE FINISHING MILL/RESURFACE.

**GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC. AND IT'S SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.




| SYMBOL | DESCRIPTION |
|---|---|
| | PROPERTY LINE |
| | SETBACK LINE |
| | SAWCUT LINE |
| | PROPOSED CURB |
| | PROPOSED FLUSH CURB |
| | PROPOSED SIGNS / BOLLARDS |
| | PROPOSED BUILDING |
| | PROPOSED CONCRETE |
| | PROPOSED POROUS PAVERS |
| | PROPOSED AREA LIGHT |
| | PROPOSED BOARD ON BOARD FENCE |
| | PROPOSED ALUMINUM FENCE |
| | PROPOSED BUILDING DOORS |

GRAPHIC SCALE IN FEET
1" = 30'

| ISSUE | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 5 | 04/06/2023 | EC | FOR MUNICIPAL SUBMISSION |
| 4 | 02/15/2023 | PK | FOR MUNICIPAL SUBMISSION |
| 3 | 12/02/2022 | PK | FOR COUNTY SUBMISSION |
| 2 | 11/08/2022 | PK | FOR MUNICIPAL SUBMISSION |
| 1 | 10/17/2022 | PK | FOR MUNICIPAL SUBMISSION |

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Phone 201.340.4468 · Fax 201.340.4472


PRELIMINARY & FINAL MAJOR SITE PLANS

# ONE SCHOOL GLOBAL

## PROPOSED K-12 GRADE SCHOOL

BLOCK 2104, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY
JAKE MODESTOW
No. GE56119
LICENSED PROFESSIONAL ENGINEER

JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER
Jake Modestow 2023.04.10 15:22:40 -04'00'

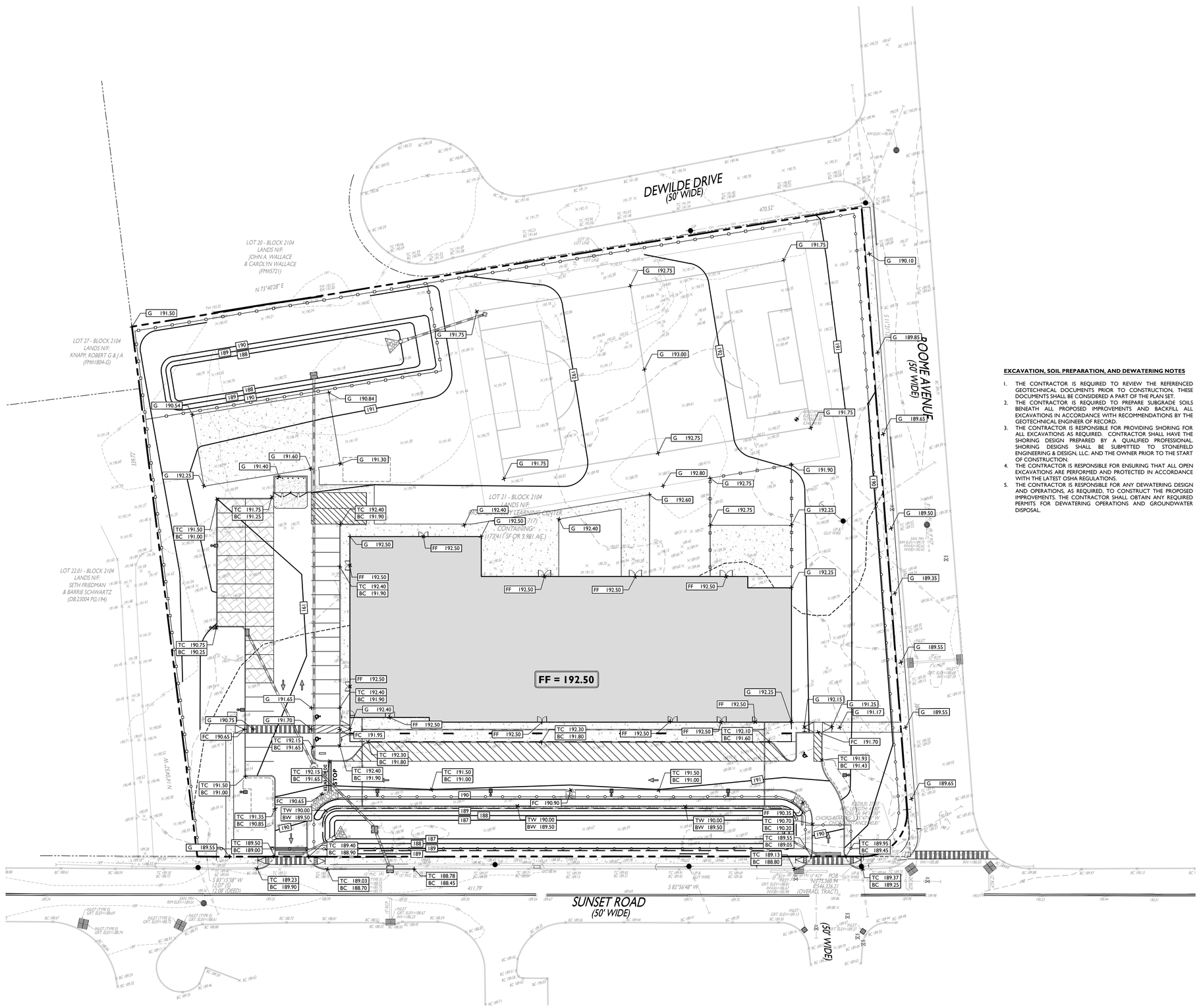
**STONEFIELD** engineering & design

SCALE: 1" = 30' | PROJECT ID: RUT-220209

TITLE: **SITE PLAN**

DRAWING: **C-3**

Z:\RUTHERFORD\RUT\220209\RUT-220209 ONE SCHOOL GLOBAL, 60 SUNSET ROAD, PEQUANNOCK TWP\CADD\PLOT\C03-03-SITE.DWG




## SYMBOL / DESCRIPTION

| SYMBOL | DESCRIPTION |
|---|---|
| | PROPERTY LINE |
| 100 | PROPOSED GRADING CONTOUR |
| RIDGELINE | PROPOSED GRADING RIDGELINE |
| | PROPOSED DIRECTION OF DRAINAGE FLOW |
| G 100.00 | PROPOSED GRADE SPOT SHOT |
| TC 100.50 / BC 100.00 | PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT |
| FC 100.00 | PROPOSED FLUSH CURB SPOT SHOT |
| DC 100.12 / BC 100.00 | PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT |
| TW 102.00 / BW 100.00 | PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT |

### EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC. AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

### GRADING NOTES

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
   - CURB GUTTER: 0.50%
   - CONCRETE SURFACES: 1.00%
   - ASPHALT SURFACES: 1.00%
5. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
6. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

### ADA NOTES

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF ¼ INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN ¼ INCHES AND ½ INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP ¼ INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN ½ INCH.

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

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PRELIMINARY & FINAL MAJOR SITE PLANS

# ONE SCHOOL GLOBAL

## PROPOSED K-12 GRADE SCHOOL

BLOCK 2104, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY · JAKE MODESTOW · No. GE56119 · PROFESSIONAL ENGINEER · LICENSED

JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER

Jake Modestow
Jake Modestow 2023.04.10 10:22:48 -04'00'

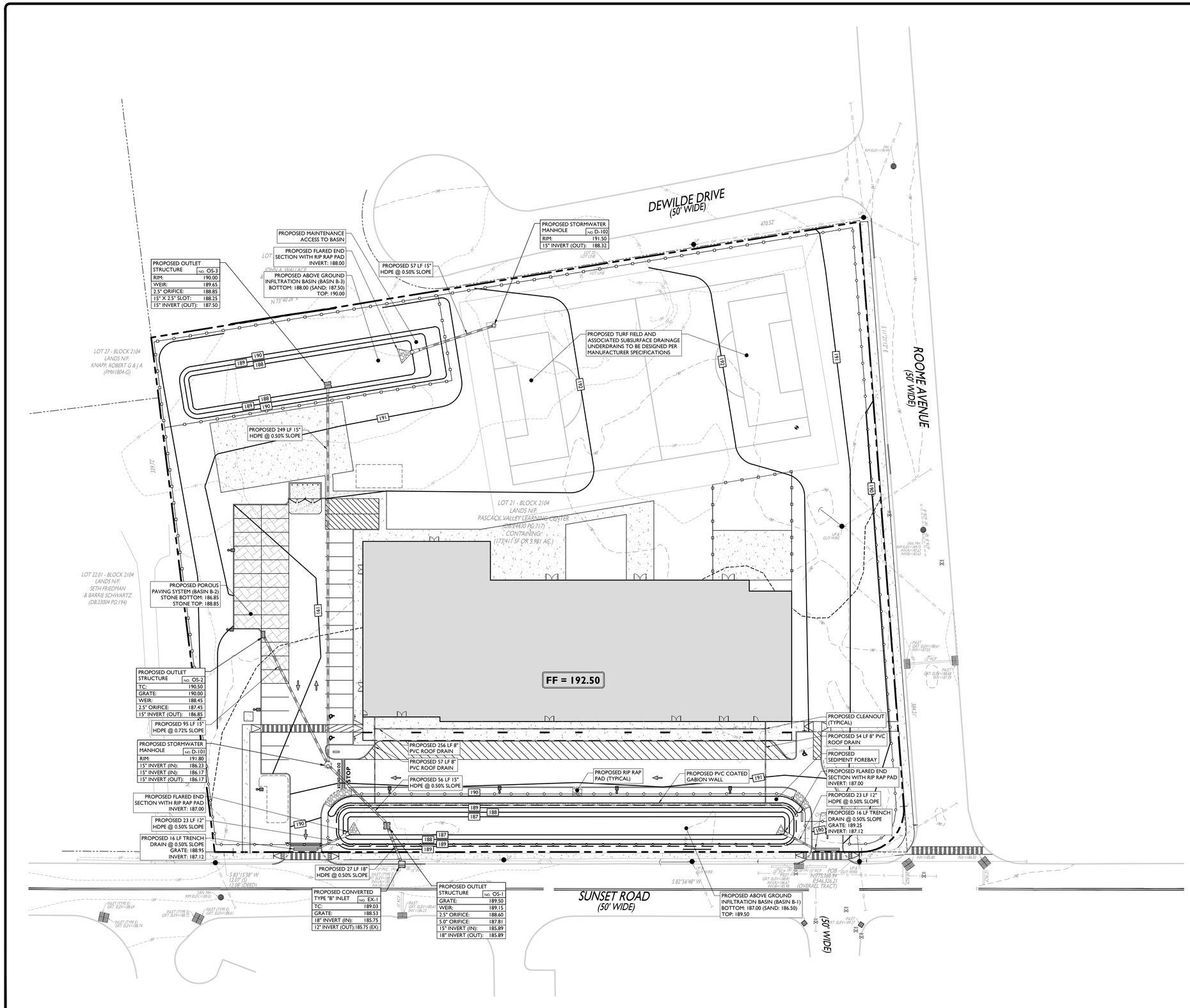
STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: RUT-220209

TITLE: GRADING PLAN

DRAWING: C-4

Z:\RUT\RDP\RUT\220209\RUT-220209 ONE SCHOOL GLOBAL - 60 SUNSET ROAD, PEQUANNOCK TEC\CADD\PLOT\XXX-04-GRAD.DWG




## SYMBOL / DESCRIPTION

| SYMBOL | DESCRIPTION |
|---|---|
| | PROPERTY LINE |
| 100 | PROPOSED GRADING CONTOUR |
| RIDGELINE | PROPOSED GRADING RIDGELINE |
| | PROPOSED STORMWATER STRUCTURES |
| | PROPOSED STORMWATER PIPING |
| | PROPOSED UNDERGROUND OUTLET STRUCTURE |

### DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP-GRADIENT.
3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTIONEXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING.
4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

### EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC. AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

### STORMWATER INFILTRATION BMP CONSTRUCTION NOTES

1. PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED TO BE USED FOR AN INFILTRATION BMP (E.G. BASIN, BIORETENTION AREA, ETC.) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR CONSTRUCTION EQUIPMENT OR AS A STOCKPILE AREA FOR CONSTRUCTION MATERIALS. NO ACTIVITY SHALL BE PERMITTED WITHIN THE INFILTRATION BASIN AREA UNLESS RELATED TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL SUBCONTRACTORS OF BASIN AREA RESTRICTIONS.
2. THE CONTRACTOR SHALL MAKE EVERY EFFORT, WHERE PRACTICAL, TO AVOID SUBGRADE SOIL COMPACTION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
3. ALL EXCAVATION WITHIN THE LIMITS OF ANY INFILTRATION BMP SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT (LESS THAN 8 PSI APPLIED TO THE GROUND SURFACE) IS RECOMMENDED WITHIN THE BASIN LIMITS.
4. THE SEQUENCE OF SITE CONSTRUCTION SHALL BE COORDINATED WITH BASIN CONSTRUCTION TO ADHERE TO SEQUENCING LIMITATIONS.
5. DURING THE FINAL GRADING OF AN INFILTRATION BASIN, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAW OR EQUIVALENT GRADING EQUIPMENT. ALL GRADING EQUIPMENT SHALL BE LOCATED OUTSIDE OF THE BASIN BOTTOM WHERE FEASIBLE.
6. FOLLOWING CONSTRUCTION OF AN INFILTRATION BASIN, SOIL INFILTRATION TESTING BY A LICENSED GEOTECHNICAL ENGINEER IS REQUIRED TO CERTIFY COMPLIANCE WITH THE DESIGN INFILTRATION RATES IN ACCORDANCE WITH APPENDIX E OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES MANUAL, LATEST EDITION. IF THE FIELD INFILTRATION RATES ARE LOWER THAN THE RATE USED DURING DESIGN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING IMMEDIATELY TO DETERMINE THE APPROPRIATE COURSE OF ACTION.
7. THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TO DETERMINE IF WITNESS TESTING IS REQUIRED DURING INFILTRATION BASIN EXCAVATION AND/OR SOIL INFILTRATION TESTING.

### STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
2. UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
3. NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

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STATE OF NEW JERSEY · JAKE MODESTOW · No. GE56119 · LICENSED PROFESSIONAL ENGINEER


JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER


Jake Modestow
Jake Modestow 2023.04.10
12:27:30 -04'00'

**STONEFIELD** engineering & design

SCALE: 1" = 30' | PROJECT ID: RUT-220209

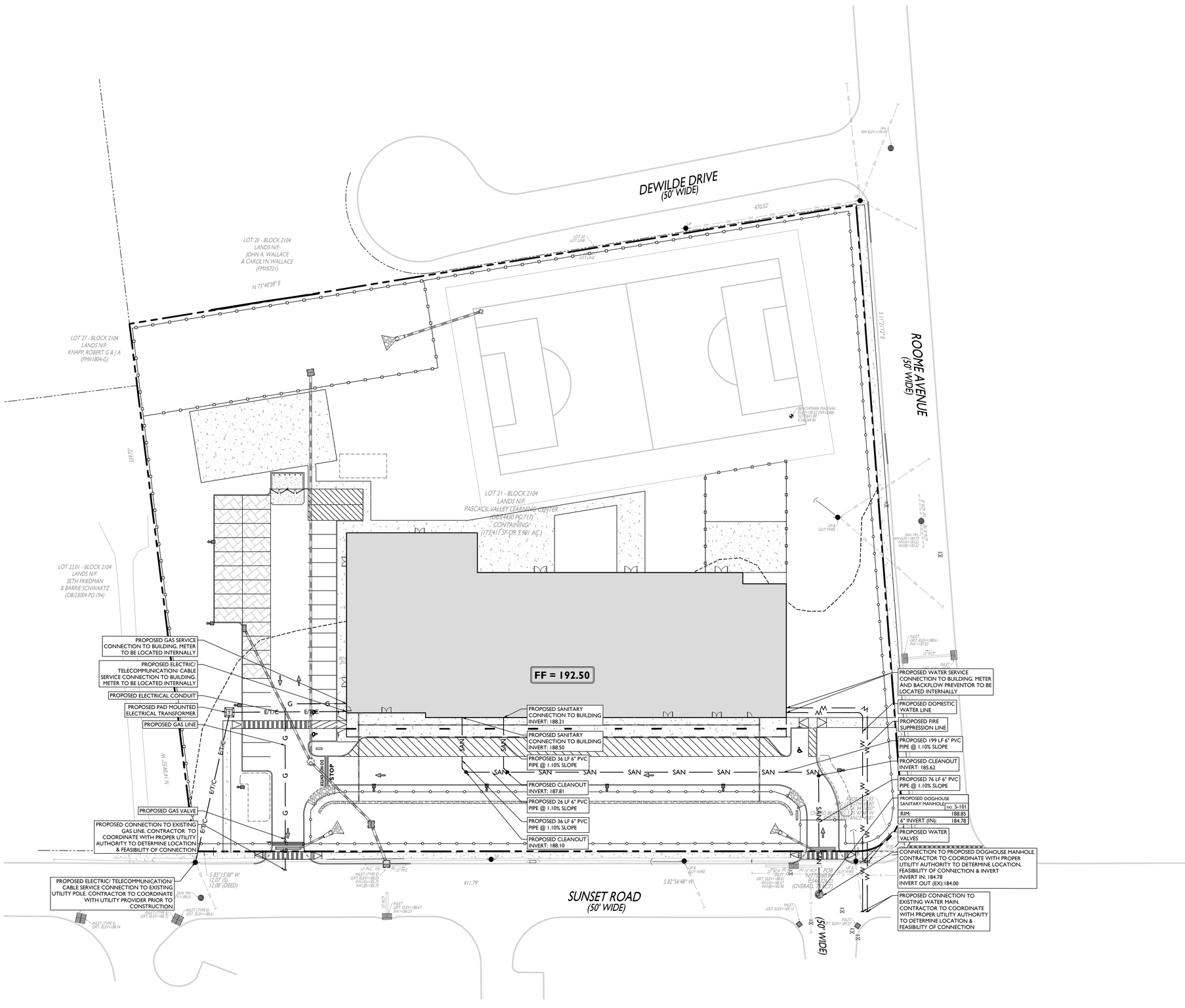
TITLE:

**STORMWATER MANAGEMENT PLAN**

DRAWING:

**C-5**

Z:\RUT\REPORDRAFT\2022\RUT-220209 ONE SCHOOL GLOBAL, 60 SUNSET ROAD, PEQUANNOCK NJ\CADD\PLOT\PK\C-05-STMNT.DWG




| SYMBOL | DESCRIPTION |
|---|---|
| | PROPERTY LINE |
| SAN | PROPOSED SANITARY LATERAL |
| W | PROPOSED DOMESTIC WATER SERVICE |
| E/T/C | PROPOSED ELECTRICAL/DATA CONDUITS |
| G | PROPOSED GAS LINE |
| | PROPOSED VALVE |
| T | PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS |

**DRAINAGE AND UTILITY NOTES**

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

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Jake Modestow
2023.04.10
13:27:40 04'00'

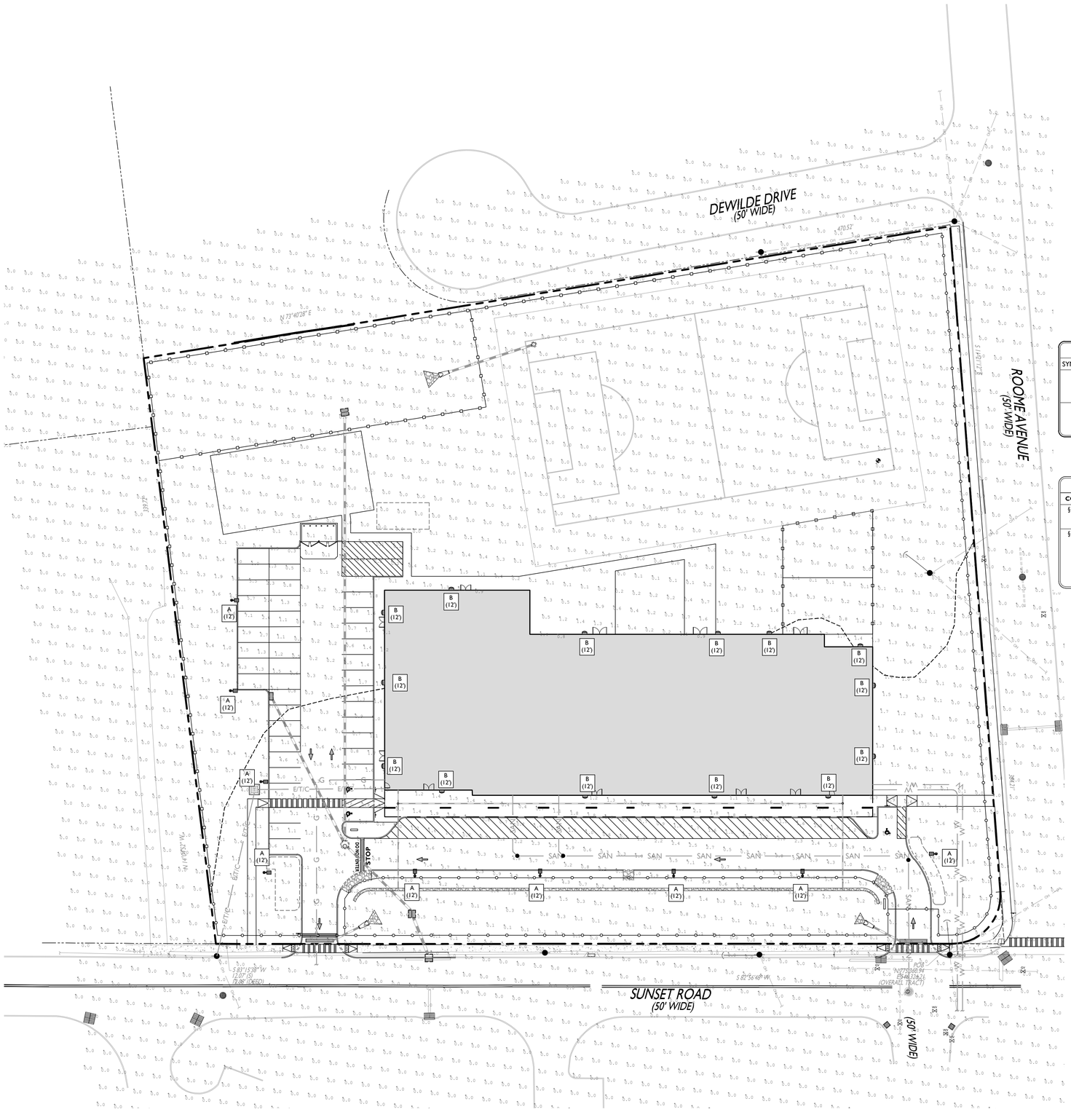
STONEFIELD engineering & design

SCALE: 1" = 30' PROJECT ID: RUT-220209

TITLE: UTILITY PLAN

DRAWING: C-6

Z:\RUT\RDP\ONEINFT\220209\RUT-220209 ONE SCHOOL GLOBAL - 60 SUNSET ROAD, PEQUANNOCK TS\CADD\PLOT\XXX-06-UTIL.DWG




| SYMBOL | DESCRIPTION |
|---|---|
| | PROPOSED CALCULATION AREA |
| | PROPOSED ISOMETRIC LINE |
| A (XX') | PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT) |
| +X.X | PROPOSED LIGHTING INTENSITY (FOOTCANDLES) |
| | PROPOSED AREA LIGHT |
| | PROPOSED BUILDING MOUNTED LIGHT |

PROPOSED LUMINAIRE SCHEDULE

| SYMBOL | LABEL | QUANTITY | SECURITY LIGHTING | DISTRIBUTION | LLF | MANUFACTURER | IES FILE |
|---|---|---|---|---|---|---|---|
| | A | 9 | OSQ OUTDOOR LED AREA LIGHT-SINGLE W/ SHIELD | TYPE IV | 0.9 | CREE LIGHTING | OSQM-B-9L-40K7-4M-UX-XX-XX-Q9_CONFIGURED.IES |
| | B | 14 | EDGE SERIES - OUTDOOR LED WALLPACK | TYPE III | 0.9 | CREE LIGHTING | PWY-EDG-3M-___-02-E-UL-S 25-40K-CONFIGURED.IES |

**LIGHTING REQUIREMENTS**

| CODE SECTION | REQUIRED | PROPOSED |
|---|---|---|
| § 360-50.D(7) | LIGHTING SHALL BE ARRANGED TO DEFLECT AND FOCUS LIGHT AWAY FROM ADJACENT PROPERTIES. | COMPLIES |
| § 360-42.Q(3) | ANY LIGHT FURTHER THAN 100 FEET FROM PARKLAND OR RESIDENTIALLY USED OR ZONED PROPERTY SHALL BE MOUNTED NO HIGHER THAN 20 FEET ABOVE THE GROUND LEVEL, AND NO ILLUMINATION GREATER THAN 0.5 FOOTCANDLE AT THE PROPERTY LINE SHALL BE PERMITTED. | COMPLIES |

OSQ-ML-B-DA and UC Mounts

FIXTURE 'A'

FIXTURE 'B'

**GENERAL LIGHTING NOTES**

1. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH ARE WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
   - LIGHT EMITTING DIODES (LED): 0.90
   - HIGH PRESSURE SODIUM: 0.72
   - METAL HALIDE: 0.72
4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

30' 0' 30' 60'

GRAPHIC SCALE IN FEET

1" = 30'

| ISSUE | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 5 | 04/06/2023 | EC | FOR MUNICIPAL SUBMISSION |
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| 1 | 10/17/2022 | PK | FOR MUNICIPAL SUBMISSION |

NOT APPROVED FOR CONSTRUCTION


STONEFIELD engineering & design

Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone 201.340.4468 · Fax 201.340.4472


PRELIMINARY & FINAL MAJOR SITE PLANS

# ONE SCHOOL GLOBAL

## PROPOSED K-12 GRADE SCHOOL

BLOCK 2104, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY · JAKE MODESTOW · No. GE56119 · PROFESSIONAL ENGINEER · LICENSED

JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER

Jake Modestow
2023.04.10
13:22:41 04'00'

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: RUT-220209

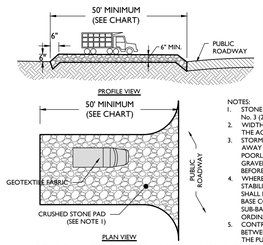
TITLE:

LIGHTING PLAN

DRAWING:

C-7

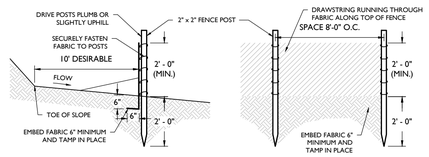
Z:\RUTHERFORD\RUT\RUT220209 ONE SCHOOL GLOBAL - 60 SUNSET ROAD, PEQUANNOCK NJ\CADD\PLOT\XXX-XT-LIGHT.DWG




| SLOPE OF PUBLIC ROADWAY | LENGTH OF STONE REQ'D | |
|---|---|---|
| | COARSE GRAINED SOILS | FINE GRAINED SOILS |
| 0% TO 2% | 50 FEET | 100 FEET |
| 2% TO 5% | 100 FEET | 200 FEET |
| > 5% | SEE NOTE 4 | |

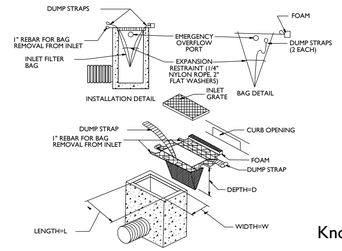
NOTES:
1. STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
2. WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
4. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
5. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

## STABILIZED CONSTRUCTION ACCESS DETAIL



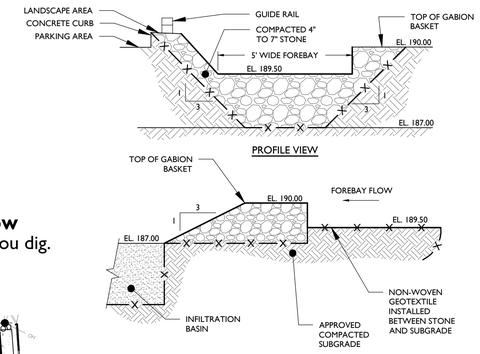

NOTES:
1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
2. GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN.) AND TAMP IN PLACE.
3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
4. SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

## SUPER SILT FENCE DETAIL




## INLET FILTER BAG DETAIL

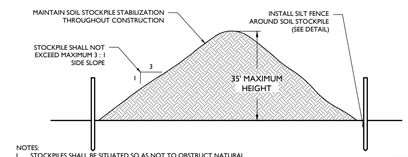
811
Know what's **below**
**Call** before you dig.




## FOREBAY STONE WEIR & JACKET

NOT TO SCALE

| SYMBOL | DESCRIPTION |
|---|---|
| | PROPERTY BOUNDARY |
| | ADJACENT PROPERTY BOUNDARY |
| LOD | PROPOSED LIMIT OF DISTURBANCE |
| SF | PROPOSED SILT FENCE |
| | PROPOSED STABILIZED CONSTRUCTION ENTRANCE |
| | PROPOSED INLET PROTECTION FILTER |



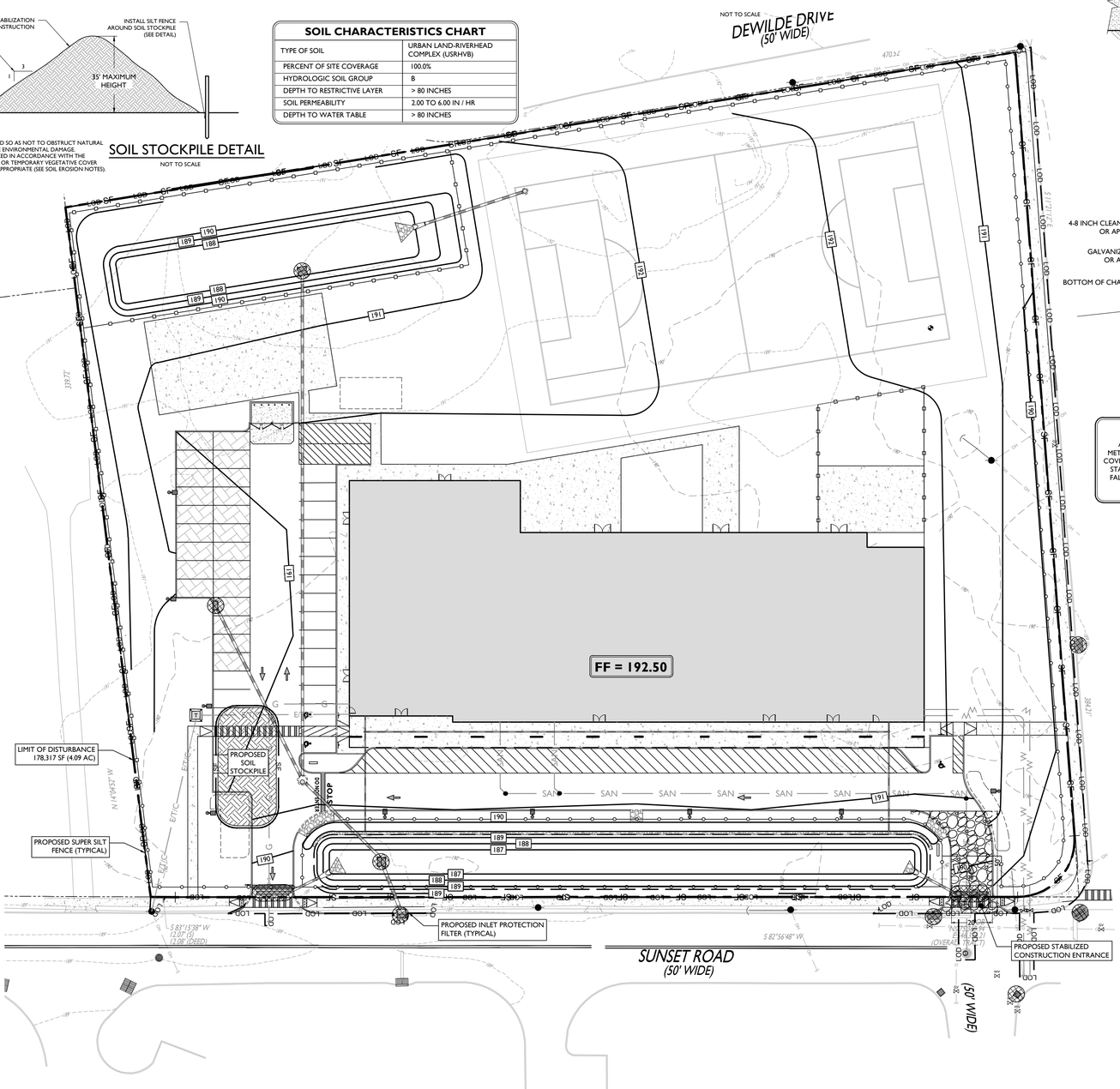

NOTES:
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

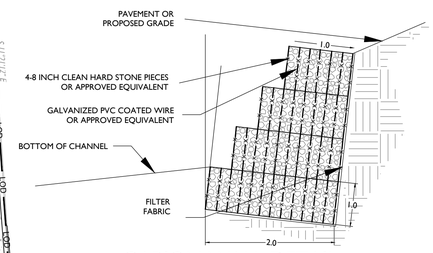
## SOIL STOCKPILE DETAIL

NOT TO SCALE

### SOIL CHARACTERISTICS CHART

| | |
|---|---|
| TYPE OF SOIL | URBAN LAND-RIVERHEAD COMPLEX (USRHVB) |
| PERCENT OF SITE COVERAGE | 100.0% |
| HYDROLOGIC SOIL GROUP | B |
| DEPTH TO RESTRICTIVE LAYER | > 80 INCHES |
| SOIL PERMEABILITY | 2.00 TO 6.00 IN / HR |
| DEPTH TO WATER TABLE | > 80 INCHES |




## GABION WALL DETAIL

NOT TO SCALE

**SOIL COMPACTION EXEMPTION NOTE**

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA-1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODY VEGETATION NOR REGROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON WOODY VEGETATED PA-1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS AN "URBAN REDEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED."

**PROPERTY IS LOCATED WITHIN AN URBAN REDEVELOPMENT AREA (METROPOLITAN PLANNING AREA (PA-I))**

**STABILIZATION SPECIFICATIONS:**

I.A. TEMPORARY SEEDING AND MULCHING:
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

I.B. PERMANENT SEEDING AND MULCHING:
TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDINGS REQUIRE IRRIGATION)
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

**DUST CONTROL NOTES**

1. MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1
2. VEGETATIVE COVER - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOD, PG. 6-1
3. SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
4. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
5. SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
6. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
7. CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
8. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

**MORRIS COUNTY SOIL CONSERVATION DISTRICT NOTES**

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
3. PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
4. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
5. TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
6. PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER", SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
8. ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
9. STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILES BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
10. A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
11. ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
14. ALL DEWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
15. ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE. 16. DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
17. ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
18. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
19. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE AND A PRE-CONSTRUCTION MEETING HELD.
20. CONTRACTOR TO SET UP A MEETING WITH THE INSPECTOR FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.
21. TOPSOIL STOCKPILE PROTECTION
A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
B) APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
C) APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 SQ. FT.
D) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
E) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
F) PROPERTY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
22. TEMPORARY STABILIZATION SPECIFICATIONS
A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
B) APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
C) APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 SQ. FT.
D) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
E) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
23. PERMANENT STABILIZATION SPECIFICATIONS
A) APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED).
B) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT. AND WORK FOUR INCHES INTO SOIL.
C) APPLY FERTILIZER (10-20-10) AT A OF RATE 11 LBS. PER 1000 SQ. FT.
D) APPLY HARD FESCUE SEED AT 2.7 LBS. PER 1000 SQ. FT. AND CREEPING RED FESCUE SEED AT 0.7 LBS PER 1000 SQ. FT. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS PER 1000 SQ. FT.
E) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
F) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

*NOTE: 72 HOURS PRIOR TO ANY SOIL DISTURBANCE, NOTICE IN WRITING, SHALL BE GIVEN TO THE MORRIS COUNTY SOIL CONSERVATION DISTRICT AND A PRE-CONSTRUCTION MEETING HELD.

**SEQUENCE OF CONSTRUCTION**

1. INSTALL SILT FENCE AND CONSTRUCTION ENTRANCE. (2 DAYS)
2. DEMOLISH EXISTING PAVEMENT AND GRAVEL. (14 DAYS)
3. ROUGH GRADING AND TEMPORARY SEEDING. ALL EXPOSED SOIL AREAS FOR DEMOLITION SHALL BE STABILIZED TEMPORARILY UNTIL NEXT PHASE OF CONSTRUCTION BEGINS. (30 DAYS)
4. PLACE DRAINAGE PIPING AND CATCH BASINS. INSTALL INLET FILTERS AS CONVEYANCE STRUCTURES ARE PLACED. (7 DAYS)
5. COMMENCE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS. (60 DAYS)
6. LANDSCAPING IMPROVEMENTS AND FINAL SEEDING. (7 DAYS)
7. REMOVE SILT FENCE AND SOIL EROSION MEASURES. (1 DAY)

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

| ISSUE | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 5 | 04/06/2023 | EC | FOR MUNICIPAL SUBMISSION |
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NOT APPROVED FOR CONSTRUCTION


STONEFIELD engineering & design
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PRELIMINARY & FINAL MAJOR SITE PLANS

# ONE SCHOOL GLOBAL

PROPOSED K-12 GRADE SCHOOL

BLOCK 2104, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY
JAKE MODESTOW
No. GE56119
PROFESSIONAL ENGINEER
LICENSED

JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER

Jake Modestow 2023.04.10 13:27:43 04'00'

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: RUT-220209

TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN

DRAWING: C-8

Z:\RUTHERFORD\RUT\220209\RUT-220209 ONE SCHOOL GLOBAL - 60 SUNSET ROAD, PEQUANNOCK TS\CAD\PLOT\SOIL\08-SESC.DWG

BEFORE YOU BREAK GROUND FOR A PROJECT AROUND YOUR YARD, SUCH AS A FENCE, IN-GROUND POOL, OR HOME ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT (800) 272-1000 TO REQUEST A MARK OUT OF THE UTILITY SERVICES THAT ARE UNDERGROUND. IT IS RECOMMENDED THAT YOU CALL 3 DAYS BEFORE YOU DIG. THE STATE OF NEW JERSEY REQUIRES THAT YOU CALL "BEFORE" YOU DIG SO THAT YOU CAN IDENTIFY WHERE THE UNDERGROUND UTILITIES ARE LOCATES (SUCH AS WATER, GAS, ELECTRIC, PHONE, CABLE, ETC.) ONCE THE SERVICES ARE "MARKED OUT", YOU CAN DIG WITHOUT THE RISK OF INTERRUPTING SERVICE FROM ONE OF THESE UTILITIES. MANAGING PROPERTY OR

**ONE CALL**

NEW JERSEY

SUFFERING PERSONAL INJURY. IF YOU ARE HAVING A PROFESSIONAL DO THE WORK FOR YOU, THEY ARE RESPONSIBLE TO CONTACT ONE CALL. UTILITY SERVICES ARE MARKED OUT WITH PAINT OR A FLAG. THE FOLLOWING LIST WILL HELP YOU IDENTIFY WHAT UTILITY HAS PERFORMED A MARK OUT:

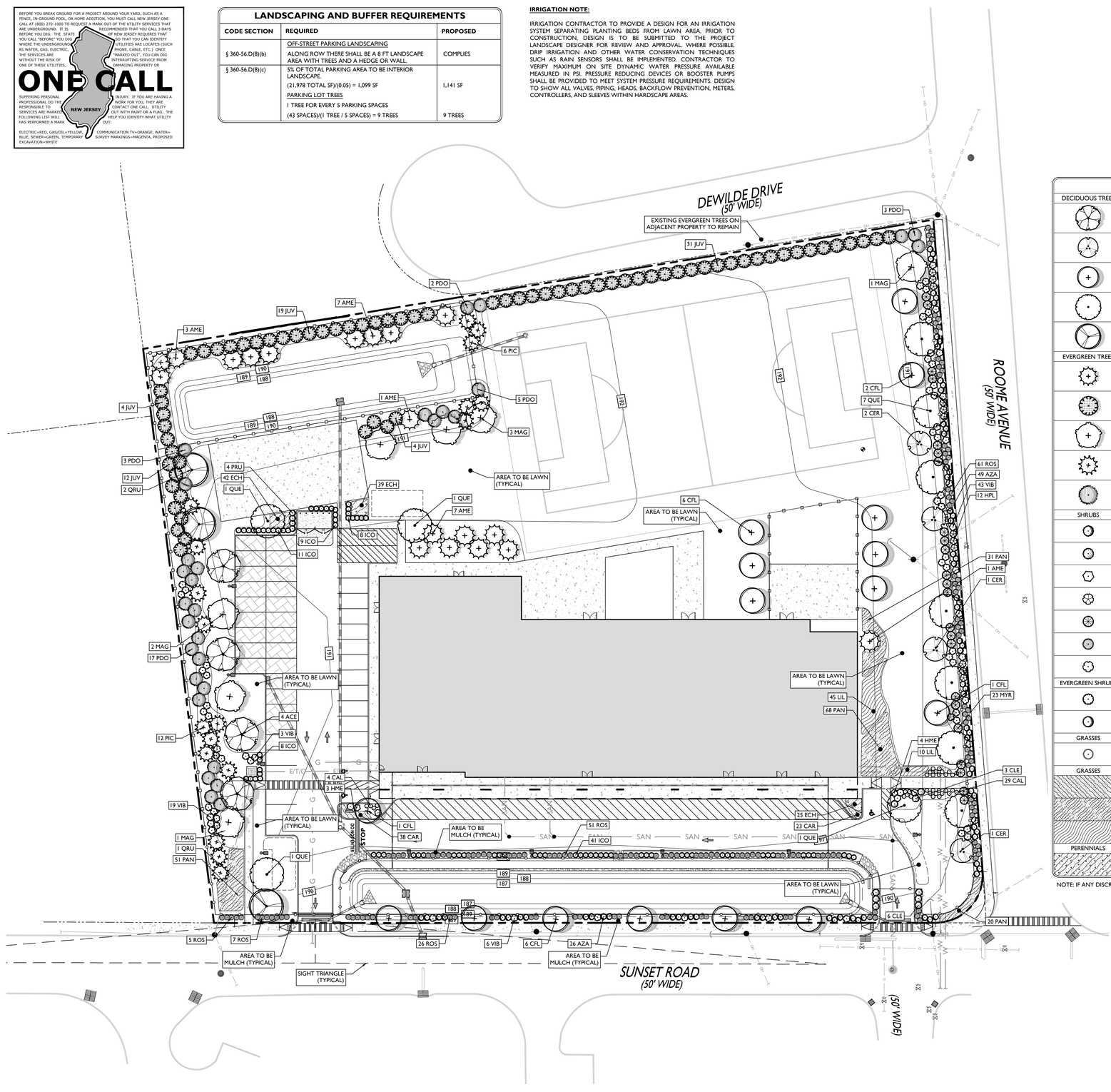
ELECTRIC=RED, GAS/OIL=YELLOW, COMMUNICATION TV=ORANGE, WATER=BLUE, SEWER=GREEN, TEMPORARY SURVEY MARKINGS=MAGENTA, PROPOSED EXCAVATION=WHITE

## LANDSCAPING AND BUFFER REQUIREMENTS

| CODE SECTION | REQUIRED | PROPOSED |
|---|---|---|
| § 360-56.D(8)(b) | OFF-STREET PARKING LANDSCAPING<br>ALONG ROW THERE SHALL BE A 8 FT LANDSCAPE AREA WITH TREES AND A HEDGE OR WALL. | COMPLIES |
| § 360-56.D(8)(c) | 5% OF TOTAL PARKING AREA TO BE INTERIOR LANDSCAPE<br>(21,978 TOTAL SF)/(0.05) = 1,099 SF<br>PARKING LOT TREES<br>1 TREE FOR EVERY 5 PARKING SPACES<br>(43 SPACES)/(1 TREE / 5 SPACES) = 9 TREES | 1,141 SF<br><br>9 TREES |

**IRRIGATION NOTE:**

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.




## PLANT SCHEDULE

| DECIDUOUS TREES | CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER |
|---|---|---|---|---|---|---|
| | ACE | 4 | ACER RUBRUM `OCTOBER GLORY` | OCTOBER GLORY RED MAPLE | 2.5" - 3" CAL | B&B |
| | CER | 4 | CERCIS CANADENSIS | EASTERN REDBUD MULTI-TRUNK | 8' - 10' HT | B&B |
| | CFL | 16 | CORNUS FLORIDA | FLOWERING DOGWOOD | 2.5" - 3" CAL | B&B |
| | QUE | 11 | QUERCUS PHELLOS | WILLOW OAK | 2.5" - 3" CAL | B&B |
| | QRU | 3 | QUERCUS RUBRA | RED OAK | 2.5" - 3" CAL | B&B |
| **EVERGREEN TREES** | **CODE** | **QTY** | **BOTANICAL NAME** | **COMMON NAME** | **SIZE** | **CONTAINER** |
| | AME | 19 | ILEX OPACA | AMERICAN HOLLY | 6' - 7' HT | B&B |
| | JUV | 70 | JUNIPERUS VIRGINIANA | EASTERN RED CEDAR | 6' - 7' HT | B&B |
| | MAG | 7 | MAGNOLIA GRANDIFLORA | SOUTHERN MAGNOLIA | 2.5" - 3" CAL | B&B |
| | PIC | 18 | PICEA ABIES | NORWAY SPRUCE | 6' - 7' HT | B&B |
| | PDO | 30 | PSEUDOTSUGA MENZIESII | DOUGLAS FIR | 6' - 7' HT | B&B |
| **SHRUBS** | **CODE** | **QTY** | **BOTANICAL NAME** | **COMMON NAME** | **SIZE** | **CONTAINER** |
| | AZA | 75 | AZALEA X `DELAWARE VALLEY WHITE` | VALLEY WHITE AZALEA | 24" - 30" | POT |
| | CLE | 9 | CLETHRA ALNIFOLIA `RUBY SPICE` | RUBY SPICE CLETHRA | 24" - 30" | POT |
| | HME | 7 | HYDRANGEA MACROPHYLLA `ENDLESS SUMMER` TM | BAILMER HYDRANGEA | 24" - 30" | POT |
| | HPL | 12 | HYDRANGEA PANICULATA `LIMELIGHT` | LIMELIGHT HYDRANGEA | 24" - 30" | POT |
| | MYR | 23 | MYRICA PENSYLVANICA | NORTHERN BAYBERRY | 24" - 30" | POT |
| | ROS | 150 | ROSA X `DOUBLE KNOCKOUT` | ROSE | 18" - 24" | POT |
| | VIB | 71 | VIBURNUM DENTATUM | VIBURNUM | 18" - 24" | POT |
| **EVERGREEN SHRUBS** | **CODE** | **QTY** | **BOTANICAL NAME** | **COMMON NAME** | **SIZE** | **CONTAINER** |
| | ICO | 77 | ILEX GLABRA `COMPACTA` | COMPACT INKBERRY | 18" - 24" | POT |
| | PRU | 4 | PRUNUS LAUROCERASUS `SCHIPKAENSIS` | SCHIPKA ENGLISH LAUREL | 42" - 48" | B&B |
| **GRASSES** | **CODE** | **QTY** | **BOTANICAL NAME** | **COMMON NAME** | **SIZE** | **CONTAINER** |
| | CAL | 33 | CALAMAGROSTIS X ACUTIFLORA `KARL FOERSTER` | FEATHER REED GRASS | 3 GAL. | POT |
| **GRASSES** | **CODE** | **QTY** | **BOTANICAL NAME** | **COMMON NAME** | **SIZE** | **CONTAINER** |
| | CAR | 61 | CAREX PENSYLVANICA | PENNSYLVANIA SEDGE | 1 GAL. | POT; 18" O.C. |
| | PAN | 170 | PANICUM VIRGATUM | SWITCH GRASS | 3 GAL. | POT; 36" O.C. |
| | LIL | 55 | SCHIZACHYRIUM SCOPARIUM | LITTLE BLUESTEM | 1 GAL. | POT; 36" O.C. |
| **PERENNIALS** | **CODE** | **QTY** | **BOTANICAL NAME** | **COMMON NAME** | **SIZE** | **CONTAINER** |
| | ECH | 106 | ECHINACEA PURPUREA 'KIM'S KNEE HIGH' | KIM'S KNEE HIGH CONEFLOWER | 1 GAL. | POT; 18" O.C. |

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

**LANDSCAPING NOTES**

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH .
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.

PAUL DEVITTO, L.L.A.
NEW JERSEY LICENSE No. 21AS00123500
LICENSED LANDSCAPE ARCHITECT

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

| ISSUE | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 5 | 04/06/2023 | EC | FOR MUNICIPAL SUBMISSION |
| 4 | 02/15/2023 | PK | FOR MUNICIPAL SUBMISSION |
| 3 | 12/02/2022 | PK | FOR COUNTY SUBMISSION |
| 2 | 11/08/2022 | PK | FOR MUNICIPAL SUBMISSION |
| 1 | 10/17/2022 | PK | FOR MUNICIPAL SUBMISSION |

NOT APPROVED FOR CONSTRUCTION


STONEFIELD engineering & design
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Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com
Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone 201.340.4468 · Fax 201.340.4472


PRELIMINARY & FINAL MAJOR SITE PLANS

# ONE SCHOOL GLOBAL

PROPOSED K-12 GRADE SCHOOL

BLOCK 2104, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY · JAKE MODESTOW · No. GE56119 · LICENSED PROFESSIONAL ENGINEER

JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER
Jake Modestow
Jake Modestow 2023.04.10
23:12:43 -04'00'

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: RUT-220209

TITLE:

## LANDSCAPING PLAN

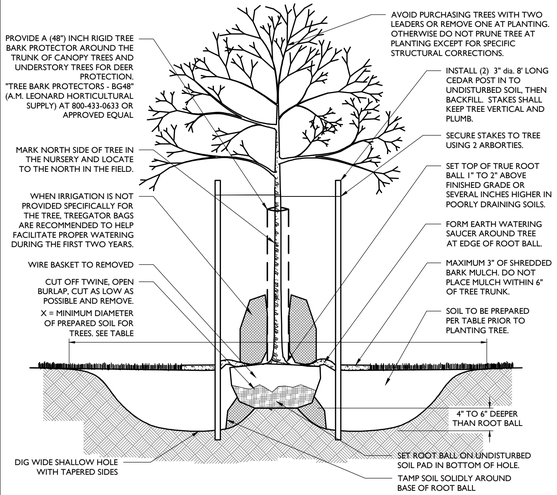
DRAWING:

C-9

Z:\RUTHERFORD\RUT220209\RUT-220209 ONE SCHOOL GLOBAL - 60 SUNSET ROAD, PEQUANNOCK NJ\CADD\PLOT\C9.0-LANDSCAPE.DWG

NOTES:

1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
   - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
   - MODIFY EXTREMELY SANDY SOILDS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



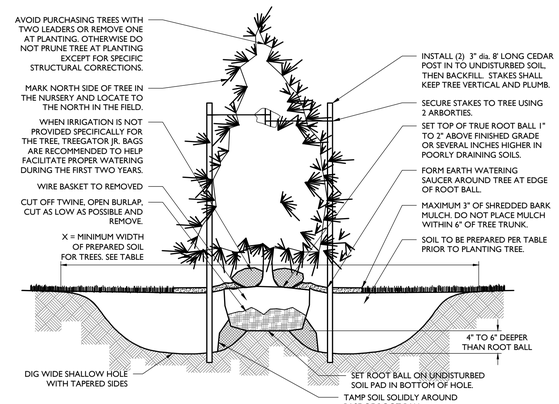

## DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

1

NOTES:

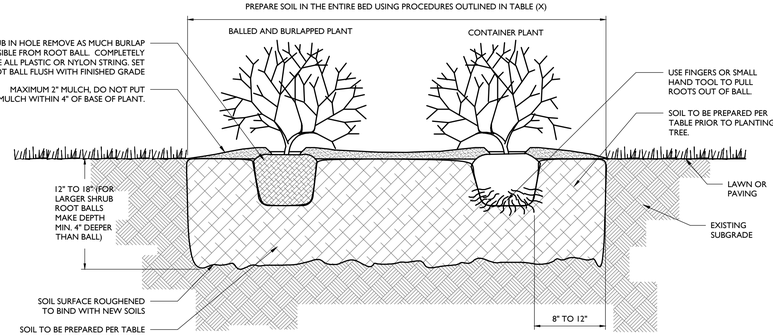
1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
   - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
   - MODIFY EXTREMELY SANDY SOILDS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX




## CONIFEROUS TREE PLANTING DETAIL

NOT TO SCALE

2




NOTES:

1. FOR THE CONTAINER-GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOL TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
   - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
   - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL

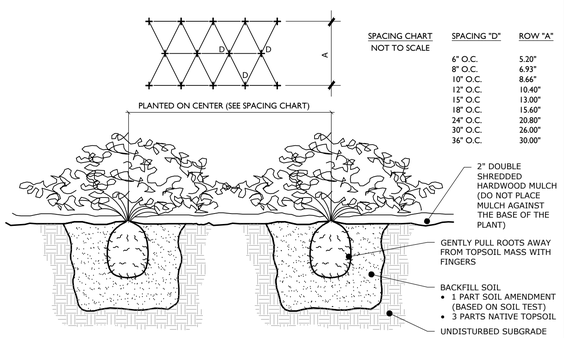
## DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE

3

NOTES:

1. THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
2. SOIL AMENDMENTS:
   - MODIFY HEAVY CLAY OR SILT SOILDS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
   - MODIFY EXTREMELY SANDY SOILDS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX
3. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS



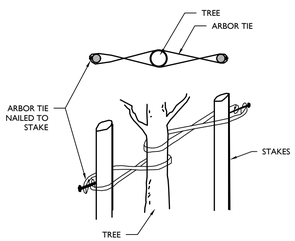

SPACING CHART
NOT TO SCALE

| SPACING "D" | ROW "A" |
|---|---|
| 6" O.C. | 5.20" |
| 8" O.C. | 6.93" |
| 10" O.C. | 8.66" |
| 12" O.C. | 10.40" |
| 15" O.C. | 13.00" |
| 18" O.C. | 15.60" |
| 24" O.C. | 20.80" |
| 30" O.C. | 26.00" |
| 36" O.C. | 30.00" |

## GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE

4




INSTALLATION GUIDELINES:

1. LOOP TIE AROUND TREE AND NAIL TO CEDAR STAKE.
2. REMOVE ALL STAKING AND TIES AT END OF FIRST GROWING SEASON.
3. FOLD ENDS OF ARBORTIE BACK. SECURE TO STAKES WITH 1" GALVANIZED ROOFING NAIL OR USE A KNOT.
4. CONSULT LANDSCAPE ARCHITECT FOR STAKING OF TREES LARGER THAN 6".
5. SOURCES INCLUDE:
   GEMPLERS 1-800-332-6744 or GEMPLERS.COM
   CSP OUTDOORS 1-800-592-6940 or CSPOUTDOORS.COM

## ARBORTIE DETAIL

NOT TO SCALE

5

**GENERAL LANDSCAPING NOTES:**

1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
2. WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

**PROTECTION OF EXISTING VEGETATION NOTES:**

1. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
2. IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
   - TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
   - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
   - LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

**SOIL PREPARATION AND MULCH NOTES:**

1. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
   - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
   - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
3. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
4. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.6 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
6. CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
7. UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
8. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
11. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR. GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
12. WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
13. SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:

MYCRO® TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.

- DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
- MYCOR® TREE SAVER® IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
- SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
- FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
- OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

HEALTHY START MACRO TABS 12-8-8

- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
- TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

**IRRIGATION DURING ESTABLISHMENT**

| SIZE AT PLANTING | IRRIGATION FOR VITALITY | IRRIGATION FOR SURVIVAL |
|---|---|---|
| < 2" CALIPER | DAILY FOR TWO WEEKS, EVERY OTHER DAY FOR TWO MONTHS, WEEKLY UNTIL ESTABLISHED | TWO TO THREE TIMES WEEKLY FOR TWO TO THREE MONTHS |
| 2"-4 CALIPER | DAILY FOR ONE MONTH, EVERY OTHER DAY FOR THREE MONTHS, WEEKLY UNTIL ESTABLISHED | TWO TO THREE TIMES WEEKLY FOR THREE TO FOUR MONTHS |
| 4 >" CALIPER | DAILY FOR SIX WEEKS, EVERY OTHER DAY FOR FIVE MONTHS, WEEKLY UNTIL ESTABLISHED | TWICE WEEKLY FOR FOUR TO FIVE MONTHS |

TABLE NOTES:

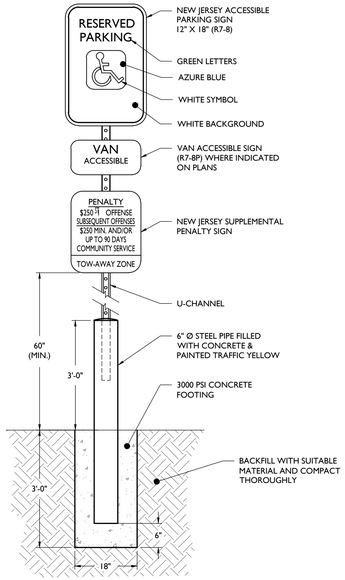
1. AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.

2. WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.

3. WHEN IRRIGATION FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

**PLANT QUALITY AND HANDLING NOTES:**

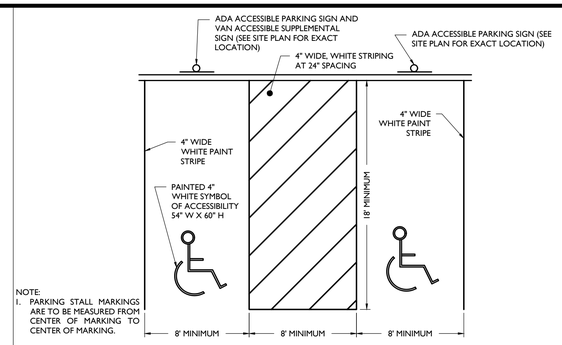
1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
4. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
7. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
8. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS.
10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIMES AND COVERED WITH MOISTENED MULCH OR ALGED WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNTITED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
11. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT.
14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
    PLANTS (MARCH 




## ACCESSIBLE PARKING SIGN WITH BOLLARD DETAIL

NOT TO SCALE

1

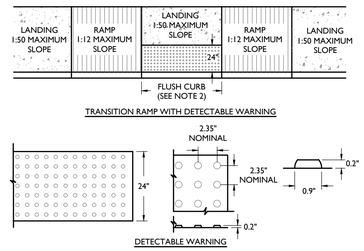



NOTE:
1. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.

## ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

2

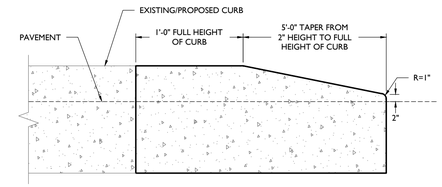



## TRANSITION RAMP DETAIL

NOT TO SCALE

NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%
2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
3. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
4. VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.
5. DETECTABLE WARNING STRIP REQUIRED WHERE RAMP DIRECTS PEDESTRIAN TRAFFIC TOWARDS VEHICLE TRAVEL WAY. WARNING STRIP SHALL BE CAST-IN-PLACE.
6. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL

3

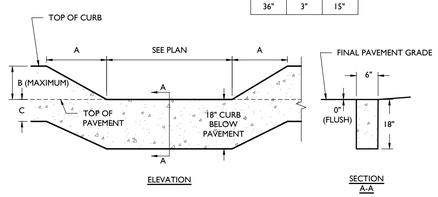



## CURB TAPER DETAIL

NOT TO SCALE

4

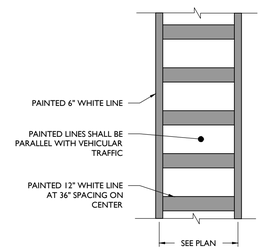
| FLUSH CURB DIMENSIONS | | |
|---|---|---|
| A | B | C |
| 72" | 6" | 12" |
| 60" | 5" | 13" |
| 48" | 4" | 14" |
| 36" | 3" | 15" |




## FLUSH CURB DETAIL

NOT TO SCALE

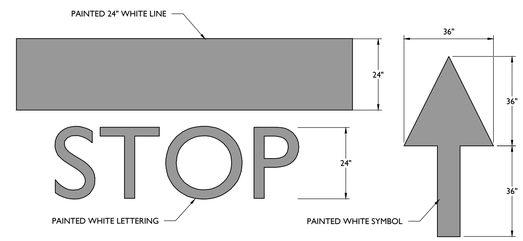
5




## CROSSWALK DETAIL

NOT TO SCALE

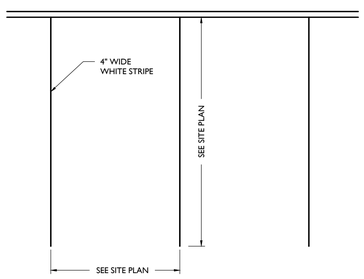
6




## STOP BAR & ARROW DETAILS

NOT TO SCALE

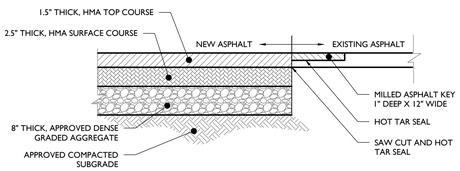
7




## PARKING STALL MARKINGS

NOT TO SCALE

8

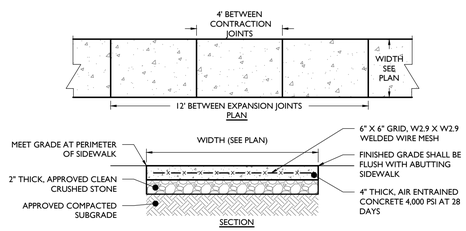



## FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

NOTE:
1. HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
2. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR PAVEMENT CROSS SECTION.

9

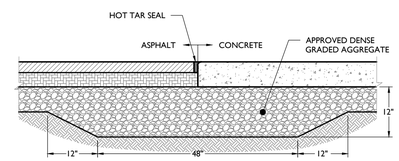



## REINFORCED CONCRETE WALKWAY DETAIL

NOT TO SCALE

NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE ¼" PER FOOT.
2. ½" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED ½" FROM THE SURFACE.
3. 1" DEEP BY ¼" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
4. EXPANSION JOIN SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

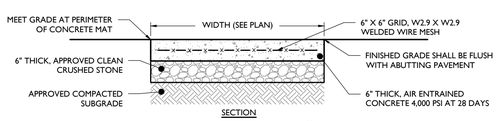
10




## CONCRETE TO ASPHALT TRANSITION DETAIL

NOT TO SCALE

11

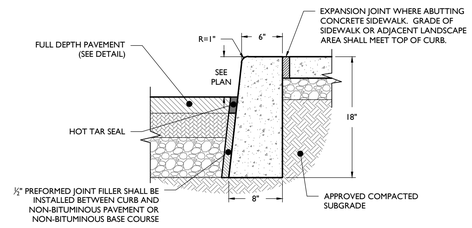



## REINFORCED 6" CONCRETE MAT

NOT TO SCALE

NOTES:
1. ½" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED ¾" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
2. 1" DEEP BY ½" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
3. CONCRETE SHALL RECEIVE BROOM FINISH.
4. ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.

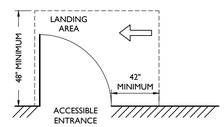
12




## CONCRETE CURB DETAIL

NOT TO SCALE

13

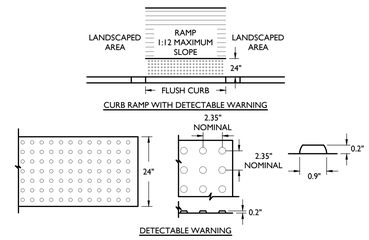



## ACCESSIBLE ENTRANCE LANDING DETAIL

NOT TO SCALE

NOTES:
1. MAXIMUM SLOPE ON LANDING SHALL BE 1:50 IN ALL DIRECTIONS
2. DIMENSIONS SHOWN HERE ARE THE MINIMUM DIMENSIONS REQUIRED FOR AN ADA COMPLIANT LANDING AT THE ACCESSIBLE ENTRANCE. REFER TO SITE PLAN FOR SITE SPECIFIC DIMENSIONS THAT MAY SPECIFY A LARGER LANDING AREA.
3. CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE CONSTRUCTION IF THE ACCESSIBLE ENTRANCE ON SITE DOES NOT MATCH THE SCENARIO SHOWN ABOVE.

14




## CURB RAMP DETAIL

NOT TO SCALE

15

| ISSUE | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 5 | 04/06/2023 | EC | FOR MUNICIPAL SUBMISSION |
| 4 | 02/15/2023 | PK | FOR MUNICIPAL SUBMISSION |
| 3 | 12/02/2022 | PK | FOR COUNTY SUBMISSION |
| 2 | 11/08/2022 | PK | FOR MUNICIPAL SUBMISSION |
| 1 | 10/17/2022 | PK | FOR MUNICIPAL SUBMISSION |

**NOT APPROVED FOR CONSTRUCTION**


STONEFIELD engineering & design
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Princeton, NJ · Tampa, FL · Detroit, MI
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Phone 201.340.4468 · Fax 201.340.4472


PRELIMINARY & FINAL MAJOR SITE PLANS

# ONE SCHOOL GLOBAL

PROPOSED K-12 GRADE SCHOOL

BLOCK 2104, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY
JAKE MODESTOW
No. GE56119
LICENSED PROFESSIONAL ENGINEER

JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER

Jake Modestow
Jake Modestow 2023.04.10
12:34:24 -04'00'

STONEFIELD engineering & design

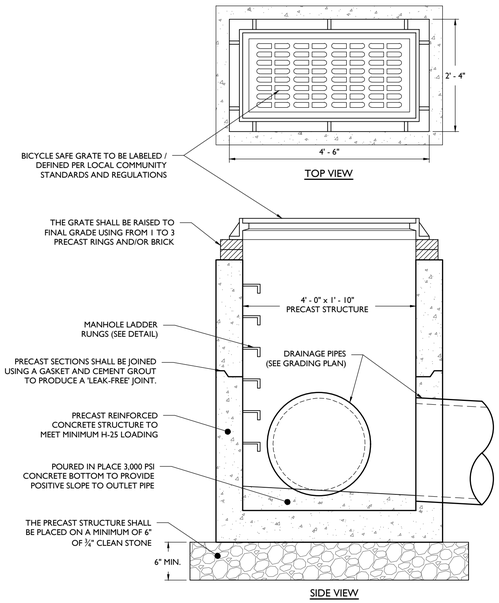
SCALE: AS SHOWN | PROJECT ID: RUT-220209

TITLE: CONSTRUCTION DETAILS

DRAWING: C-11

Z:\RUT\REPORT\RUT\220209\RUT-220209 ONE SCHOOL GLOBAL - 60 SUNSET ROAD, PEQUANNOCK TWP\CADD\CD\C-11-12-DETL.DWG

NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
3. ALL JOINTS TO BE WATER-TIGHT.
4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

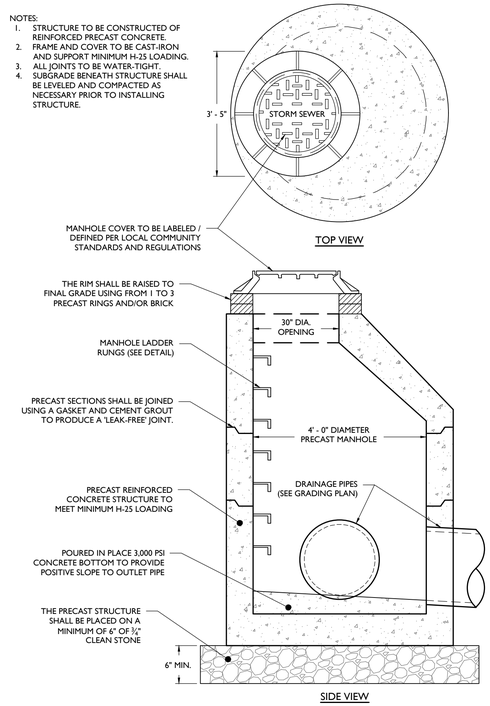



## TYPE 'A' STORM INLET DETAIL

NOT TO SCALE

1

NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
2. FRAME AND COVER TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
3. ALL JOINTS TO BE WATER-TIGHT.
4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

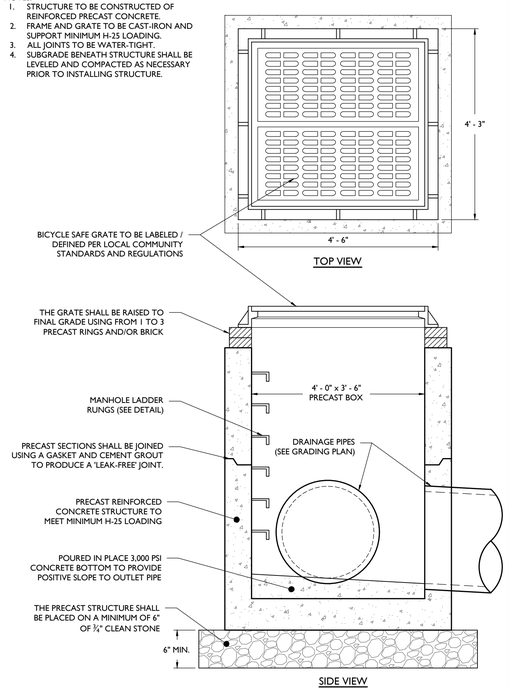



## STORM MANHOLE DETAIL

NOT TO SCALE

2

NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
3. ALL JOINTS TO BE WATER-TIGHT.
4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

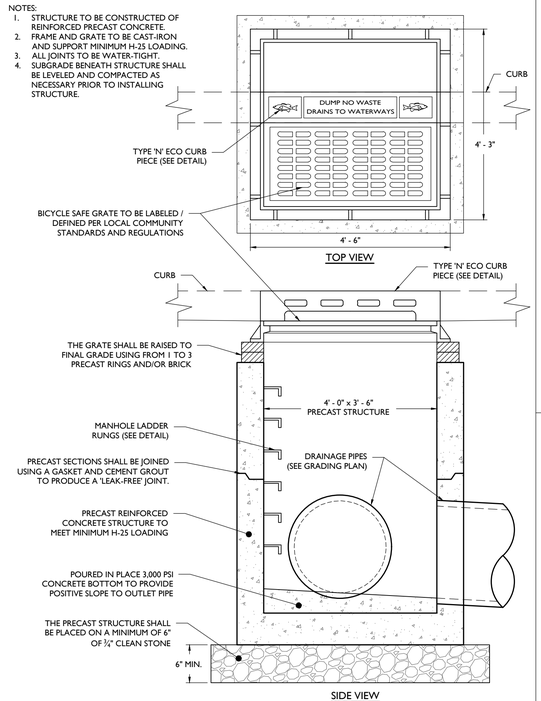



## TYPE 'E' STORM INLET DETAIL

NOT TO SCALE

7

NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
3. ALL JOINTS TO BE WATER-TIGHT.
4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.



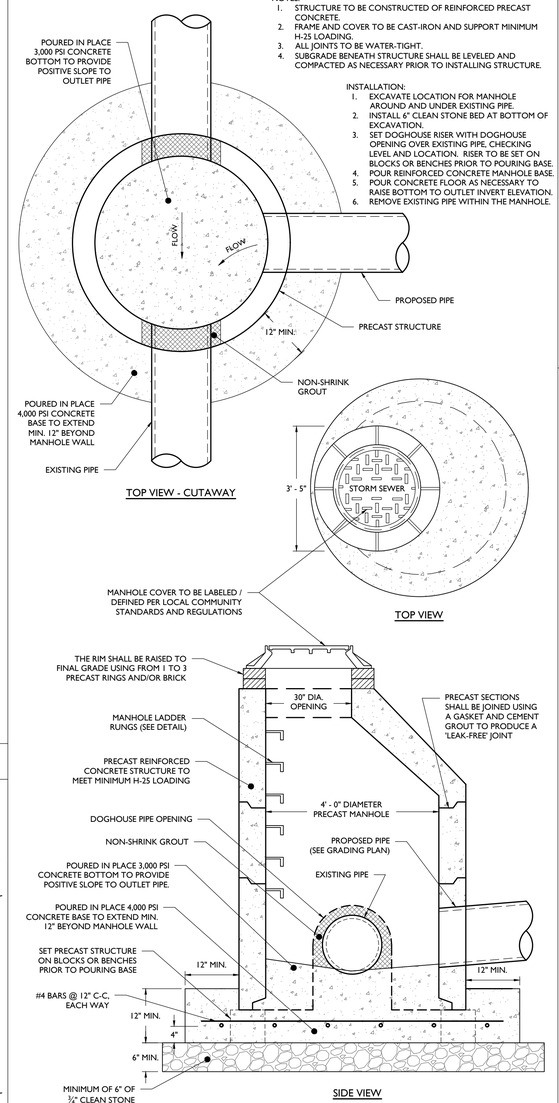

## TYPE 'B' STORM INLET DETAIL

NOT TO SCALE

8

NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
2. FRAME AND COVER TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
3. ALL JOINTS TO BE WATER-TIGHT.
4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

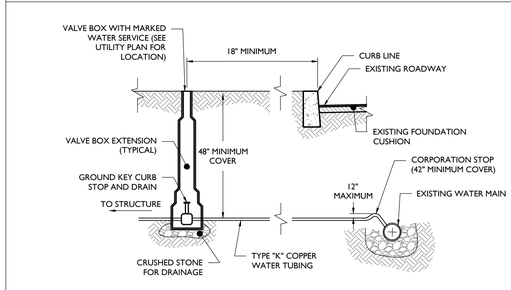
INSTALLATION:
1. EXCAVATE LOCATION FOR MANHOLE AROUND AND UNDER EXISTING PIPE.
2. INSTALL 6" CLEAN STONE BED AT BOTTOM OF EXCAVATION.
3. SET DOGHOUSE RISER WITH DOGHOUSE OPENING OVER EXISTING PIPE, CHECKING LEVEL AND LOCATION. RISER TO BE SET ON BLOCKS OR BENCHES PRIOR TO POURING BASE.
4. POUR REINFORCED CONCRETE MANHOLE BASE.
5. POUR CONCRETE FLOOR AS NECESSARY TO RAISE BOTTOM TO OUTLET INVERT ELEVATION.
6. REMOVE EXISTING PIPE WITHIN THE MANHOLE.




## DOGHOUSE SANITARY MANHOLE DETAIL

NOT TO SCALE

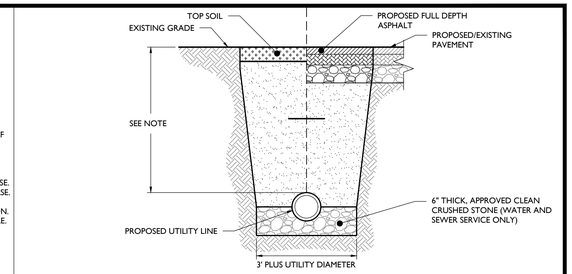
3




## WATER CONNECTION DETAIL

NOT TO SCALE

9



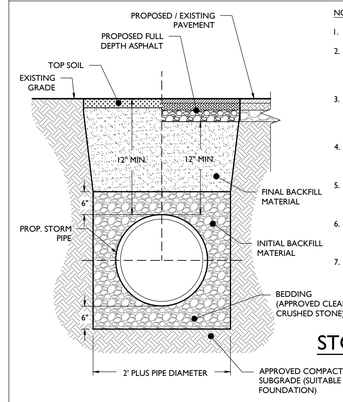

## UTILITY TRENCH DETAIL

NOT TO SCALE

NOTE:

MINIMUM PIPE COVER SHALL BE AS FOLLOW:
- ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
- GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
- SEWER SERVICE - 36" MINIMUM
- WATER SERVICE - 48" MINIMUM

4

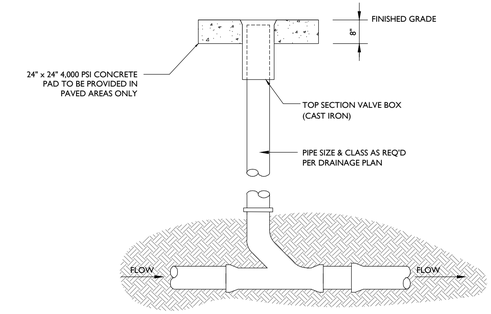



NOTES:
1. ALL PIPE SYSTEM INSTALLATIONS SHALL MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
2. ALL HDPE PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS" (LATEST EDITION).
3. ALL RCP PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C76-15, "STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE" (LATEST EDITION).
4. FOR NON HDPE OR RCP PIPE INSTALLATIONS, CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
5. WHERE THE TRENCH BOTTOM IS UNSTABLE, CONTRACTOR SHALL PROVIDE SUITABLE BACKFILL MATERIAL AS REQUIRED BY ENGINEER OR PER GEOTECH RECOMMENDATIONS.
6. MINIMUM COVER IN TRAFFIC AREAS IS 12" UP TO 48" DIAMETER PIPE AND 24" FOR 54" - 60" DIAMETER PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.
7. CONTRACTOR SHALL INSTALL SUITABLE MATERIAL FOR INITIAL AND FINAL BACKFILL. BACKFILL COMPACTION SHOULD MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.

## STORM TRENCH DETAIL

NOT TO SCALE

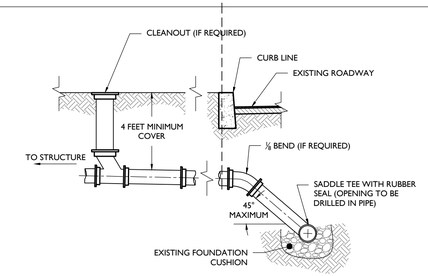
5




## CLEAN-OUT

NOT TO SCALE

6




## SEWER CONNECTION DETAIL

NOT TO SCALE

10

| ISSUE | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 5 | 04/06/2023 | EC | FOR MUNICIPAL SUBMISSION |
| 4 | 02/15/2023 | PK | FOR MUNICIPAL SUBMISSION |
| 3 | 12/02/2022 | PK | FOR COUNTY SUBMISSION |
| 2 | 11/08/2022 | PK | FOR MUNICIPAL SUBMISSION |
| 1 | 10/17/2022 | PK | FOR MUNICIPAL SUBMISSION |

NOT APPROVED FOR CONSTRUCTION


STONEFIELD engineering & design
Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com
Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone 201.340.4468 · Fax 201.340.4472


PRELIMINARY & FINAL MAJOR SITE PLANS

# ONE SCHOOL GLOBAL

PROPOSED K-12 GRADE SCHOOL

BLOCK 21.04, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY · JAKE MODESTOW · No. GE56119 · PROFESSIONAL ENGINEER

JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER

Jake Modestow
Jake Modestow 2023.04.10
15:27:46 -04'00'

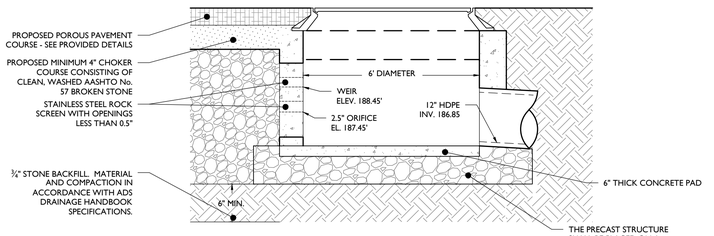
STONEFIELD engineering & design

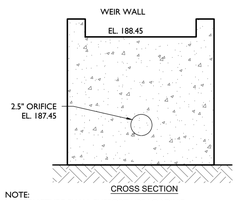
SCALE: AS SHOWN | PROJECT ID: RUT-220209

TITLE: CONSTRUCTION DETAILS

DRAWING: C-12

Z:\RUT\RDFOR\RUT220209 ONE SCHOOL GLOBAL - 60 SUNSET ROAD, PEQUANNOCK NJ\CADD\PLOT\DCK\11-12-DETL.DWG



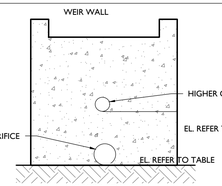

CROSS SECTION

NOTE:
1. STRUCTURE SHALL SUPPORT H25 LOADING.
2. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
3. ALL JOINTS TO BE WATER-TIGHT.
4. TRASH RACKS CONSTRUCTED OF NON-CORROSIVE MATERIALS TO BE PROVIDED

## POROUS PAVEMENT OUTLET STRUCTURE (OS-2)

SCALE: 1" = 2'

1

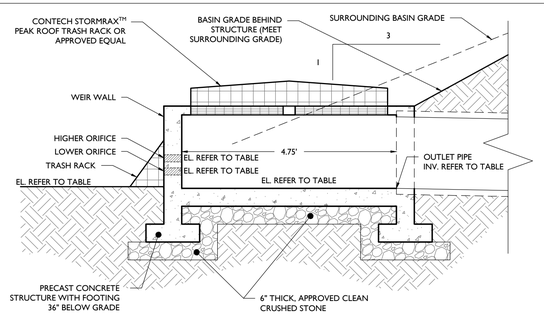



CROSS SECTION

NOTE:
1. STRUCTURE SHALL SUPPORT H25 LOADING.
2. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
3. ALL JOINTS TO BE WATER-TIGHT.
4. TRASH RACKS CONSTRUCTED OF NON-CORROSIVE MATERIALS TO BE PROVIDED

**SUMMARY OF OUTLET STRUCTURES**

| OS ID# | RIM | INVERT OUT | LOWER ORIFICE | HIGHER ORIFICE | WEIR |
|---|---|---|---|---|---|
| OS-1 | 189.50 | 185.89 | 187.81 (5.0" DIA) | 188.60 (2.5" DIA ) | 189.15 |
| OS-3 | 190.00 | 187.50 | 188.25 (1.5" X 2.5" SLOT) | 188.85 (2.5" DIA) | 189.65 |




## ABOVE-GROUND OUTLET STRUCTURE (OS-1 & OS-3) DETAIL

NOT TO SCALE

2

## OSQ Series

OSQ™ LED Area/Flood Luminaire featuring Cree TrueWhite® Technology – Medium & Large

Rev. Date: V4 06/14/2021

**Product Description**

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatherright LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The 6L lumen package is a suitable upgrade for HID applications up to 250 Watt, and the 11L lumen package is a suitable upgrade for HID applications up to 400 Watt. The 22L lumen package is a suitable upgrade for HID applications up to 750 Watts, and the 30L lumen package is a suitable upgrade for HID applications up to 1000 Watts.

**Applications:** Parking lots, walkways, campuses, car dealerships, office complexes, tunnels, underpasses, and internal roadways

**Performance Summary**

Utilizes Cree TrueWhite® Technology on 5000K Luminaires

NanoOptic® Precision Delivery Grid™ optic

Assembled in the U.S.A. of U.S. and imported parts

**Initial Delivered Lumens:** 6,000 - 30,000

**Efficacy:** Up to 173 LPW

**CRI:** Minimum 70 CRI (3000K, 4000K & 5700K), 90 CRI (5000K)

**CCT:** 3000K, 4000K, 5000K, 5700K

**Limited Warranty*:** 10 years on luminaire; 10 years on Colorfast DeltaGuard® finish; up to 5 years for Synapse® accessories; 1 year on luminaire accessories

*See http://creelighting.com/warranty for warranty terms. For Synapse accessories, consult Synapse spec sheets for details on warranty terms.

**Ordering Information**

Fully assembled luminaire is composed of two components that must be ordered separately:

Example: **Mount:** OSQ-ML-B-AA-BK + **Luminaire:** OSQM-B-6L-30K7-2M-UL-NM-BK

**Mount (Luminaire must be ordered separately)***

**OSQ-**

**OSQ-ML-B-AA** Adjustable Arm
**OSQ-ML-B-DA** Direct Arm
**OSQ-ML-B-TDP** Transportation Mount (stainless steel; do not specify color)
**OSQ-ML-B-TM** Trunnion Mount

| Color Options: | SV Silver | BZ Bronze |
|---|---|---|
| | BK Black | WH White |

* Accepts a 1/2" x 3/4" pole configuration suitability data beginning on page 10

**Luminaire (Mount must be ordered separately)**

**OSQ**

| Family | Size | Series | Lumen Package | CCT/CRI | Optic | Voltage | Mount | Color Options | Controls** | Options |
|---|---|---|---|---|---|---|---|---|---|---|
| OSQ- | M Medium L Large | B | **Medium** 6,000 Lumens; **6L** 6,000 Lumens; **11L** 11,000 Lumens; **Large** 22L 22,000 Lumens; **30L** 30,000 Lumens | **30K7** 3000K, 70CRI; **40K7** 4000K, 70CRI; **50K7** 5000K, 70CRI; **57K7** 5700K, 70CRI; **5K0** 5000K, 90CRI | **Asymmetric** Type II Medium; **2M*** Type II Medium; **Type V Medium** Type V Medium; **Type V Narrow** Type V Narrow; **Type V Square** Type V Square; **Type V Narrow Floor** | **UL** Universal 120-277V; **UH** Universal 347-480V | **NM** Not Mount - Nuts specify mount from table above - Mount drips separately; **AA** Adjustable Arm with 6L or 11L lumen packages | **BK** Black; **BZ** Bronze; **SV** Silver; **WH** White | **PML Programmable Multi-Level, up to 60' Mounting Height** - Refer to PML spec sheet for details - Intended for downlight applications: ≥12' AG; **PML2 Programmable Multi-Level, 10-20' Mounting Height** - Refer to PML spec sheet for details - Intended for downlight applications: ≤12' AG; **0/1/5R/7/9/10/50/52/0/02/01** **Field Adjustable Output** - Must select 0/1/ 5R, 0/7, 0/9, 0/10, 0/5R, 0/52, 0/02, 0/01 - Others full range adjustability - Refer to pages 12-18 for power and lumen values - Not available with PML or PML2 options; **XX/7X/9X/10X/5X/52X/02X/01** **Locked Lumen Output** - Must select 0X, 1X, 7X, 9X, 10X, 5X, 52, X1 - Not available with 22L or 30L lumen packages - Not available with PML or PML2 options - Fixed output is permanently locked to the setting selected - Refer to pages 12-18 for power and lumen values | **F Fuse** - Compatible with 120V, 277V or 347V (phase to neutral) - Consult factory if fusing is required for 208V, 240V or 480V (phase to phase) - Refer to PML spec sheet for availability with PML options - When code dictates fusing, use time delay fuse **N Utility Label and NEMA® 7-Pin Photocell Receptacle** - Included with LUL, LUE, LUC and LUD mounts - External wattage label per ANSI C136.15 - 7-pin receptacle per ANSI C136.41 - Intended for downlight applications with maximum ≤12' AG - Factory connected 0-10V dim leads - 5-conductor (NM mount), 3-conductor (UA/UB mount), or 5-conductor (UC/UD mounts) cord exits luminaire - Requires photocell or shorting cap by others **NEMA® 7-Pin Photocell Receptacle** - Not available with PML or PML2 options - Intended for downlight applications with maximum ≤12' AG - Factory connected 0-10V dim leads - 14" (305mm) seven-conductor cord exits luminaire - Requires photocell or shorting cap by others; **RL Rotate Left** - LED anti-optic are mirrored to the left - Refer to pages 19-21 for optic configuration diagram on page 19 for optic directionality - Not for use with symmetric optics; **RR Rotate Right** - LED anti-optic are mirrored to the right - Refer to pages 19-21 for optic configuration diagram on page 19 for optic directionality - Not for use with symmetric optics |

* Available with Backlight Shield when ordered with field-installed accessory (see table above)
** Luminaire comes standard with 0-10V dimming.

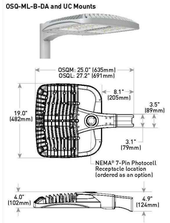
US: creelighting.com (800) 236-6800
Canada: creelighting-canada.com (800) 473-1234

CREE LIGHTING

## LIGHT FIXTURE 'A' DETAIL

NOT TO SCALE

3




OSQ-ML-B-DA and UC Mounts

| Luminaire | Weight |
|---|---|
| OSQM | 28.9 lbs. (13.1kg) |
| OSQL | 32.4 lbs. (14.7kg) |

Note: Refer to page 11 for fixture mounting drill pattern. For additional mounts, refer to drawings beginning on page 17

## THE EDGE® Series

LED Security Wall Pack Luminaire

Rev. Date: V8 09/03/2021

**Product Description**

THE EDGE® wall mount luminaire has a slim, low profile design. The luminaire and caps are made from rugged die cast aluminum with integral, weatherright LED driver compartments and high performance aluminum heat sinks specifically designed for LED applications. Housing is rugged aluminum. Includes a lightweight mounting box for installation over standard and mud ring single gang J-Boxes. Secures to wall with four 3/16" (5mm) screws (by others). Conduit entry from top, bottom, sides and rear. Allows mounting for uplight or downlight. Designed and approved for easy through-wiring. Includes leaf/debris guard.

**Applications:** General area and security lighting

**Performance Summary**

Patented NanoOptic® Product Technology

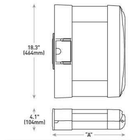
Assembled in the U.S.A. of U.S. and imported parts

**CRI:** Minimum 70 CRI (4000K & 5700K), 80 CRI (3000K), 90 CRI (5000K)

**CCT:** Turtle Friendly Amber, 3000K (+/- 300K), 4000K (+/- 300K), 5000K (+/- 500K), 5700K (+/- 500K) standard

**Limited Warranty*:** 10 years on luminaire/10 years on Colorfast DeltaGuard® finish/1 year on accessories

*See http://creelighting.com/warranty for warranty terms




| LED Count (x10) | Dim. "A" | Weight |
|---|---|---|
| 02 | 9.9" (251mm) | 20 lbs. (9.1kg) |
| 04 | 11.9" (303mm) | 22 lbs. (10.0kg) |
| 06 | 13.9" (353mm) | 25 lbs. (11.3kg) |
| 08 | 15.9" (404mm) | 27 lbs. (12.2kg) |
| 10 | 17.9" (455mm) | 31 lbs. (14.1kg) |
| 12 | 19.9" (505mm) | 32 lbs. (14.5kg) |

**Accessories**

**Field-Installed**

**Bird Spikes** XA-BRDSPK

**Beauty Plate** WM-PLT14** - 12" (305mm) Square; WM-PLT14** - 14" (356mm) Square
- Covers holes left by incumbent wall packs

**Hand-Held Remote** XA-SENSREM
- For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

*Most specify color

**Ordering Information**

Example: SEC-EDG-2M-WM-06-E-UL-5V-700

| SEC-EDG | | WM | | E | | | | | |
|---|---|---|---|---|---|---|---|---|---|
| **Product** | **Optic** | **Mounting** | **LED Count (x10)** | **Series** | **Voltage** | **Color Options** | **Drive Current** | **Options** |
| SEC-EDG | **2M** Type II Medium; **2MQ** Type II Medium w/BLS; **2S** Type II Short; **2SQ** Type II Short w/BLS; **3M** Type III Medium; **3MQ** Type III Medium w/BLS; **4M** Type IV Medium; **4MQ** Type IV Medium w/BLS | **WM** Wall Mount | **02**; **04**; **06**; **08**; **10**; **12** | **E** | **UL** Universal 120-277V; **UH** Universal 347-480V; **3A** 347V | **BK** Black; **BZ** Bronze; **SV** Silver; **WH** White | **350** 350mA; **525** 525mA - Available with 20-80 LEDs; **700** 700mA - Available with 20-60 LEDs | **DIM 0-10V Dimming** - Control by others - Refer to Dimming spec sheet for details **PCR Photocell Receptacle** - Not available with PML options **F Fuse** - Compatible only with 120V, 277V or 347V (phase to neutral) - Consult factory if fusing is required for 208V, 240V or 480V (phase to phase) - Refer to PML spec sheet for availability with PML options - When code dictates fusing, use time delay fuse **P Photocell** - Must specify UL or 3A voltage **PML Programmable Multi-Level** - Refer to PML spec sheet for details - Intended for downlight applications with 0°-10° **30K 3000K Color Temperature** - Minimum 80 CRI - Color temperature per luminaire **40K 4000K Color Temperature** - Minimum 70 CRI - Color temperature per luminaire **50K 5000K Color Temperature** - Minimum 90 CRI - Color temperature per luminaire **TBL Amber Turtle Friendly LEDs** - Available only with 350mA - 600nm dominant wavelength - Additional shielding (by others) may be required for Turtle, Bat and Wildlife Conservation Commission compliance |

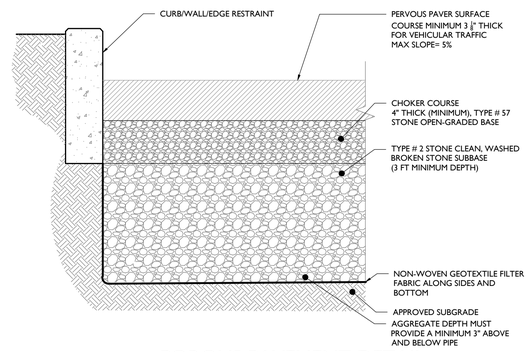
US: creelighting.com (800) 236-6800
Canada: creelighting-canada.com (800) 473-1234

CREE LIGHTING

## LIGHT FIXTURE 'B' DETAIL

NOT TO SCALE

4

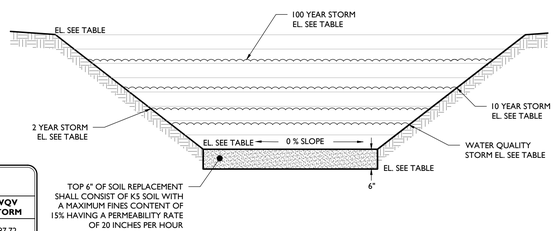



## POROUS PAVEMENT DETAIL

NOT TO SCALE

NOTES:
1. PERMEABLE PAVEMENT MUST BE IN ACCORDANCE WITH NJ STORMWATER BEST MANAGEMENT PRACTICES MANUAL, CHAPTER 9.6
2. FILTER FABRIC IS REQUIRED ALONG THE SIDES AND BOTTOM OF THE SYSTEM TO PREVENT MITIGATION OF FINES FROM THE SURROUNDING SOIL.
3. THE STORAGE BED IN THIS TYPE OF SYSTEM CONSISTS OF AN AGGREGATE LAYER AND AN UNDERDRAIN, WHICH IS A NETWORK OF PIPES THAT COLLECT RUNOFF AND TRANSPORT IT TO THE OUTFLOW SECTION OF THE SYSTEM.
   3.1. THE AGGREGATE LAYER MUST HAVE SUFFICIENT DEPTH TO PROVIDE AT LEAST 3 INCHES OF AGGREGATE ABOVE AND BELOW THE PIPE NETWORK. IT MUST CONSIST OF CLEAN, WASHED, OPEN-GRADED AASHTO NO. 2 BROKEN STONE.
   3.2. WITHIN THE AGGREGATE LAYER, THE NETWORK OF PIPES MUST BE ABLE TO WITHSTAND THE DESIGN LOADS.
   3.3. THE MANIFOLD OR OTHER MECHANISMS USED TO COLLECT FLOW FROM THE PERMEABLE PAVEMENT SYSTEM MUST BE NON-PERFORATED.
   3.4. ALL JOINTS MUST BE SECURE AND WATERTIGHT.
   3.5. THE CAPACITY OF THE UNDERDRAIN MUST BE SUFFICIENT TO ALLOW THE SYSTEM TO DRAIN WITHIN 72 HOURS.
4. THE SEASONAL HIGH WATER TABLE (SHWT) OR BEDROCK MUST BE AT LEAST 1 FOOT BELOW THE BOTTOM OF THE STORAGE BED.
5. AT LEAST ONE INSPECTION PORT, WITH A REMOVABLE CAP, MUST BE PROVIDED AT THE UPSTREAM AND DOWNSTREAM ENDS OF THE PERFORATED SECTION OF THE NETWORK OF PIPES AND BE FLUSH WITH THE SURFACE OF THE SURFACE LAYER AND EACH LOCATION DENOTED IN THE MAINTENANCE PLAN. EACH INSPECTION PORT MUST BE PLACED AT LEAST 3 FEET FROM ANY EDGE. THE SIZE OF THE INSPECTION PORT MUST BE LARGE ENOUGH TO ALLOW FOR MAINTENANCE ACTIVITIES. ADDITIONALLY, EACH INSPECTION PORT MUST EXTEND DOWN TO THE UNDERDRAIN PIPE NETWORK.
6. CONCRETE PAVERS MUST CONFORM TO ASTM C936 AND HAVE A MINIMUM THICKNESS OF 3.125 INCHES WHEN SUBJECT TO VEHICULAR TRAFFIC.
7. PAVER UNITS MUST BE INSTALLED OVER A BEDDING COURSE CONSISTING OF CLEAN, WASHED OPEN-GRADED AASHTO NO. 8 BROKEN STONE.
8. THE MINIMUM CHOKER COURSE THICKNESS IS 4 INCHES.
9. STORAGE BED AGGREGATE MUST BE CLEAN, WASHED AND OPEN-GRADED AASHTO NO. 2 BROKEN STONE.
10. POST-CONSTRUCTION TESTING OF THE PERMEABLE PAVEMENT SURFACE COURSE IS REQUIRED AND MUST CONFORM TO THE METHODS OF ASTM C1781: STANDARD TEST METHOD FOR SURFACE INFILTRATION RATE OF PERMEABLE PAVEMENT SYSTEMS.
11. PERMEABLE PAVEMENT MAY ACCEPT ADDITIONAL INFLOW FROM A MAXIMUM AREA OF 3 TIMES THE AREA OF THE PERMEABLE PAVEMENT SYSTEM.

5




**SUMMARY OF BASIN WATER SURFACE ELEVATIONS**

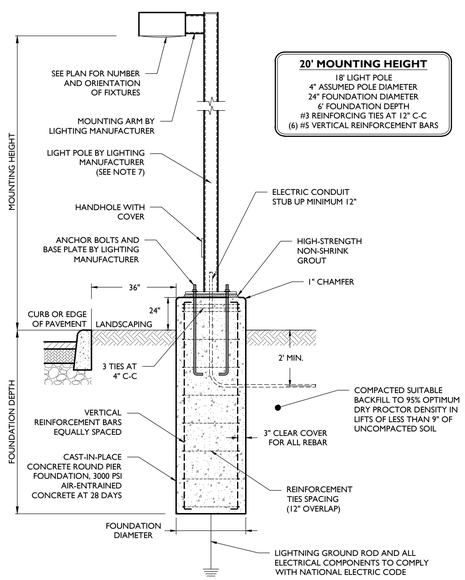
| BASIN ID# | TOP ELEV. | BOTTOM ELEV. | SAND ELEV. | 2 YEAR STORM | 10 YEAR STORM | 100 YEAR STORM | WQV STORM |
|---|---|---|---|---|---|---|---|
| B-1 | 189.50 | 187.00 | 186.50 | 188.10 | 188.58 | 189.32 | 187.72 |
| B-3 | 190.00 | 188.00 | 187.50 | 188.69 | 189.19 | 189.94 | 188.27 |

## INFILTRATION BASIN DETAIL

NOT TO SCALE

NOTES:
BASIN CONSTRUCTION MUST NOT COMPACT SOILS BELOW BASIN BOTTOM.

6



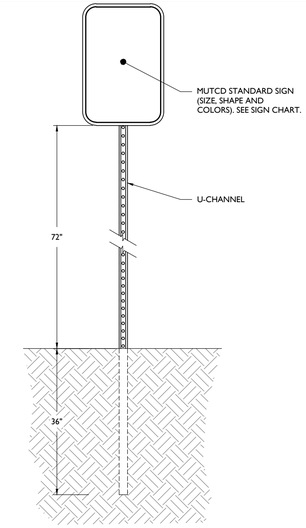

**20' MOUNTING HEIGHT**
18' LIGHT POLE
4" ASSUMED POLE DIAMETER
24" FOUNDATION DIAMETER
6' FOUNDATION DEPTH
#3 REINFORCING TIES AT 12" C-C
(6) #5 VERTICAL REINFORCEMENT BARS

## LIGHT POLE INSTALLATION DETAIL

NOT TO SCALE

NOTES:
1. MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
2. CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
3. ALL REBAR TO BE NEW GRADE 60 STEEL.
4. PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
5. CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
6. CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
7. POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANSI/ASCE 7-93.
8. POUR TO BE TERMINATED AT A FORM.
9. WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
10. CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

7




## SIGN POST DETAIL

NOT TO SCALE

| M.U.T.C.D. NUMBER | TEXT | COLOR | | SIZE OF SIGN (WIDTH X HEIGHT) | TYPE OF MOUNT |
|---|---|---|---|---|---|
| | | LEGEND | BACKGROUND | | |
| STOP SIGN (R1-1) | STOP | RED | WHITE | 30"x30" | GROUND |
| DO NOT ENTER (R5-1) | DO NOT ENTER | RED | WHITE | 30"x30" | GROUND |

NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

## SIGN DATA TABLE

NOT TO SCALE

8

| ISSUE | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 5 | 04/06/2023 | EC | FOR MUNICIPAL SUBMISSION |
| 4 | 02/15/2023 | PK | FOR MUNICIPAL SUBMISSION |
| 3 | 12/02/2022 | PK | FOR COUNTY SUBMISSION |
| 2 | 11/08/2022 | PK | FOR MUNICIPAL SUBMISSION |
| 1 | 10/17/2022 | PK | FOR MUNICIPAL SUBMISSION |

NOT APPROVED FOR CONSTRUCTION


STONEFIELD engineering & design
Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com
Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone 201.340.4468 · Fax 201.340.4472


PRELIMINARY & FINAL MAJOR SITE PLANS

# ONE SCHOOL GLOBAL

PROPOSED K-12 GRADE SCHOOL

BLOCK 2104, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY

STATE OF NEW JERSEY JAKE MODESTOW No. GE56119 PROFESSIONAL ENGINEER

JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER

Jake Modestow
Jake Modestow 2023.04.10 10:22:47 -04'00'

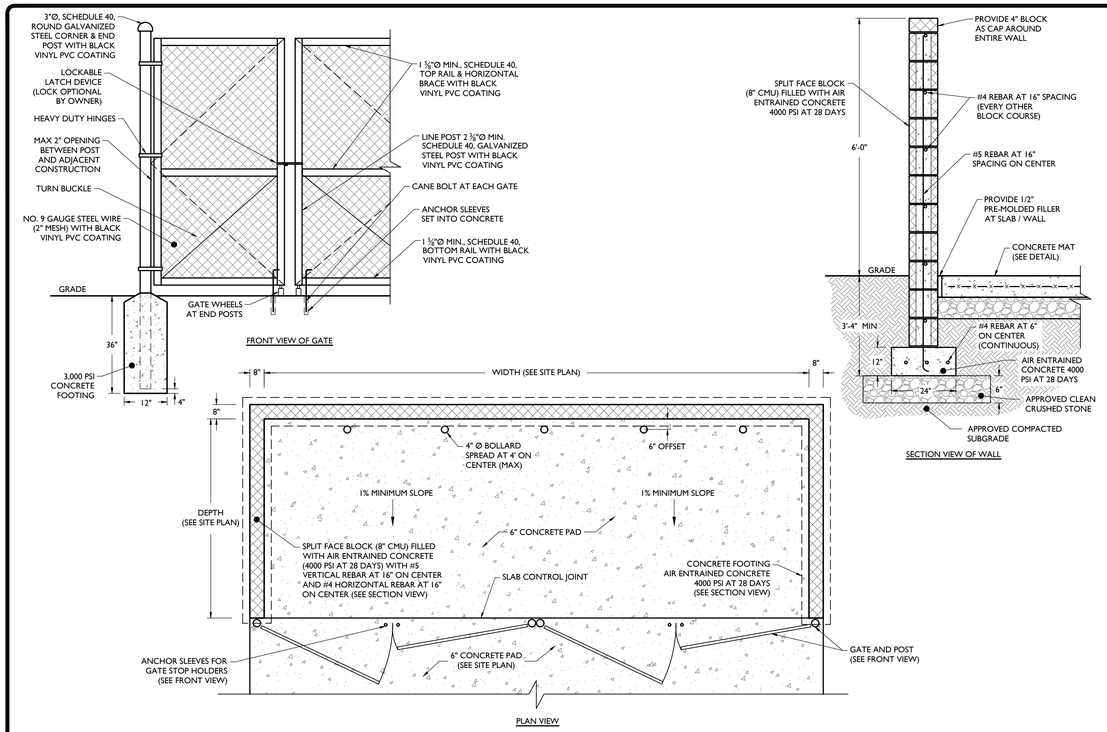
STONEFIELD engineering & design

SCALE: AS SHOWN | PROJECT ID: RUT-220209

TITLE: CONSTRUCTION DETAILS

DRAWING: C-13

Z:\RUT\REPORT\RUT2022\RUT-220209 ONE SCHOOL GLOBAL - 60 SUNSET ROAD, PEQUANNOCK TIF\CADD\PLOT\RUT-220209-C13-DETL.DWG

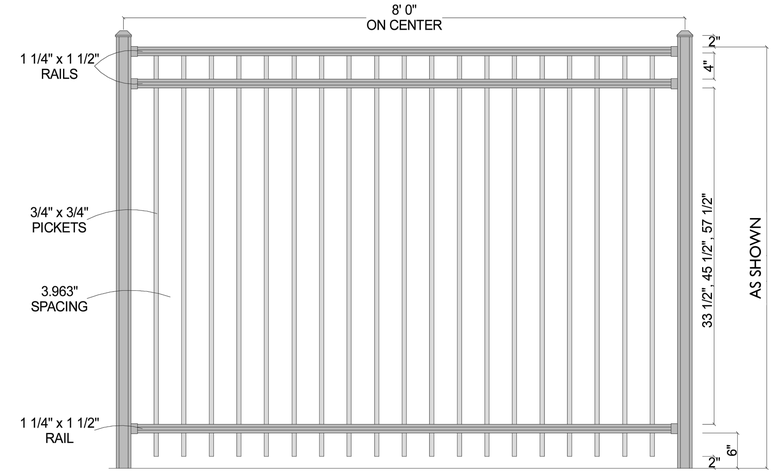



NOTE:
BLOCK COLOR TO MATCH BUILDING OR AS SPECIFIED BY OWNER

## DOUBLE TRASH / RECYCLE ENCLOSURE DETAIL

NOT TO SCALE

1




| Post Size | |
|---|---|
| 48" Tall | 2 1/2" x 2 1/2" x 6 1/2' |
| 60" Tall | 2 1/2" x 2 1/2" x 7 1/2' |
| 72" Tall | 2 1/2" x 2 1/2" x 8 1/2' |

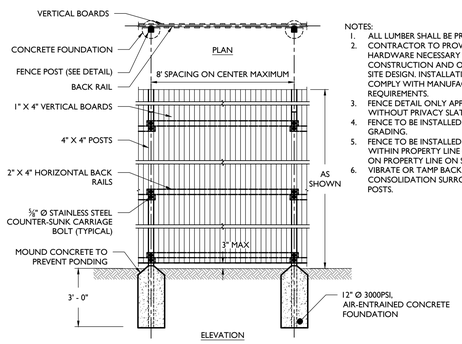
REGIS ALUMINUM FENCING

| Regis Aluminum Fence | | |
|---|---|---|
| Scale: 1/16" : 1" | Approved By: E.H. | Drawn By: J.D.S. |
| Date: 10/05/05 | | Revised: |
| 4230 | | |
| As Shown: 72" 4230 | | Drawing Number: 4230 |

## PROPOSED ALUMINUM FENCE DETAIL

NOT TO SCALE

2




NOTES:
1. ALL LUMBER SHALL BE PRESSURE TREATED.
2. CONTRACTOR TO PROVIDE ALL HARDWARE NECESSARY FOR FENCE CONSTRUCTION AND OPERATION, PER SITE DESIGN. INSTALLATION SHALL COMPLY WITH MANUFACTURER'S REQUIREMENTS.
3. FENCE DETAIL ONLY APPLIES TO FENCE WITHOUT PRIVACY SLATS.
4. FENCE TO BE INSTALLED FOLLOWING SITE GRADING.
5. FENCE TO BE INSTALLED ONE FOOT WITHIN PROPERTY LINE WHERE SHOWN ON PROPERTY LINE ON SITE PLAN.
6. VIBRATE OR TAMP BACKFILL FOR CONSOLIDATION SURROUNDING FENCE POSTS.

## BOARD ON BOARD FENCE DETAIL

NOT TO SCALE

3

| ISSUE | DATE | BY | DESCRIPTION |
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Jake Modestow 2023.04.10 13:22:48-04'00'

STONEFIELD engineering & design

SCALE: AS SHOWN | PROJECT ID: RUT-220209

TITLE:

CONSTRUCTION DETAILS

DRAWING:

C-14

Z:\RUTHERFORD\RUT\220209\RUT-220209 ONE SCHOOL GLOBAL, 60 SUNSET ROAD, PEQUANNOCK \9\CAD\PLOT\C\C-11-12-DETS.DWG