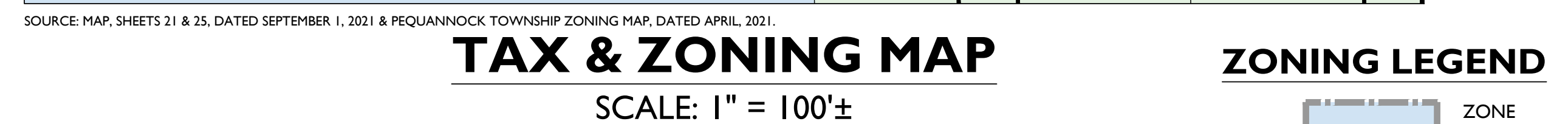
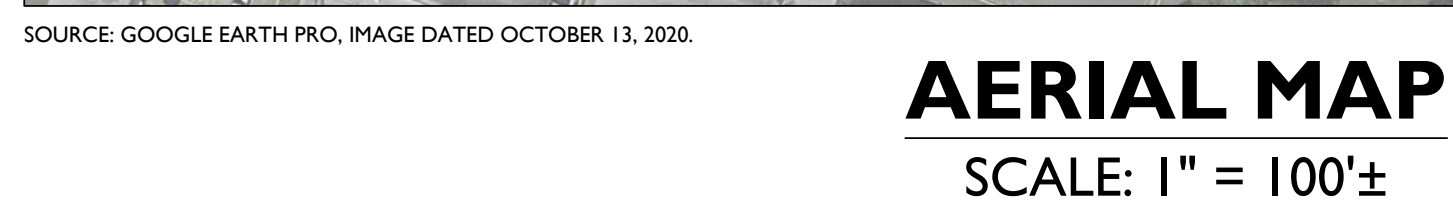




BLOCK 2104, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP , MORRIS COUNTY, NEW JERSEY

APPROVAL BLOCK	
APPROVED BY THE TOWNSHIP OF PEQUANNOCK ZONING BOARD	
CHAIRPERSON	DATE
SECRETARY	DATE



TOWNSHIP OF PEQUANNOCK 200' PROPERTY OWNERS LIST			
BLOCK	LOT	OWNER	OWNER'S ADDRESS
2107	10	D'ANDREA, RICHARD & DEBBI LYNN	4 ROOMIE AVE POMPTON PLAINS NJ 07444
2107	9	WALTER, RICHARD M & MEGAN A	50 SUNSET RD POMPTON PLAINS NJ 07444
2107	4	BURBANCK, RENEE	9 VAN NESS AVE POMPTON PLAINS NJ 07444
2107	5	FERNANDEZ, JOHN P T & MILDRED, CHRIS	7 VAN NESS AVE POMPTON PLAINS NJ 07444
2107	6	DELMO, LOIS	5 VAN NESS AVE POMPTON PLAINS, NJ 07444
2107	7	BAILEY, ROBERT & BARBARA	3 VAN NESS AVE POMPTON PLAINS NJ 07444
2107	8	NUCCI, CORIE A&A ZODICA, CORIE	48 SUNSET RD POMPTON PLAINS NJ 07444
2107	12	PE TWP BOARD OF ED - HIGH SCHOOL	85 SUNSET RD POMPTON PLAINS NJ 07444
2501	1	LAPOON, LONNIE/DEBBI, DONNA	63 SUNSET RD POMPTON PLAINS, NJ 07444
2501	2	POSTOYAN, VIKEN & BARBARA ANN	51 WASHBURN RD POMPTON PLAINS NJ 07444
2501	1	NACION, JOHN & KRISTIN LYNN	57 SUNSET RD POMPTON PLAINS NJ 07444
2502	28	SELZA, ZULFIRET	P O BOX 4167 WAYTNE NJ 07470
2502	2	WU, CHI CHENG & BETTY	55 SUNSET RD POMPTON PLAINS NJ 07444
2502	3	BLUCK, RALPH J & E	53 SUNSET RD POMPTON PLAINS NJ 07444
2502	4	VANDER GOOT, ROBERT	51 SUNSET RD POMPTON PLAINS NJ 07444

PLANS PREPARED BY:



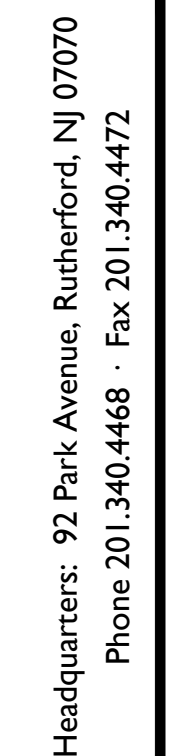
Phone 201.340.4468 · Fax 201.340.4472

PLAN REFERENCE MATERIALS:

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
- BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN, DATED 07/08/2022 LAST REVISED 07/16/2022.
 - ARCHITECTURAL PLANS PREPARED BY GREGORY RALPH ARCHITECTURE, DATED 09/13/2023.
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, DATED OCTOBER 13, 2020.
 - LOCATION MAP OBTAINED FROM UNITED STATES GEOLOGICAL SURVEY QUADRANGLE MAP 7.5 MINUTE, POMPTON PLAINS, NEW JERSEY, NEW JERSEY DATED 2019.
 - TAX MAPS OBTAINED FROM MAP, SHEETS 21 & 25, DATED SEPTEMBER 1, 2021
 - ZONING MAP OBTAINED FROM PEQUANNOCK TOWNSHIP ZONING MAP, DATED APRIL, 2021
2. ALL REFERENCED MATERIALS ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND PLAN SET THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C-1
DEMOLITION PLAN	C-2
SITE PLAN	C-3
GRADING PLAN	C-4
STORMWATER MANAGEMENT PLAN	C-5
UTILITY PLAN	C-6
LIGHTING PLAN	C-7
SOIL EROSION & SEDIMENT CONTROL PLAN	C-8
LANDSCAPING PLAN	C-9 & C-10
CONSTRUCTION DETAILS	C-11 - C-14

NOT APPROVED FOR CONSTRUCTION



PRELIMINARY & FINAL MAJOR SITE PLANS

ONE SCHOOL GLOBAL
PROPOSED K-12 GRADE SCHOOL

**BLOCK 2104, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY**



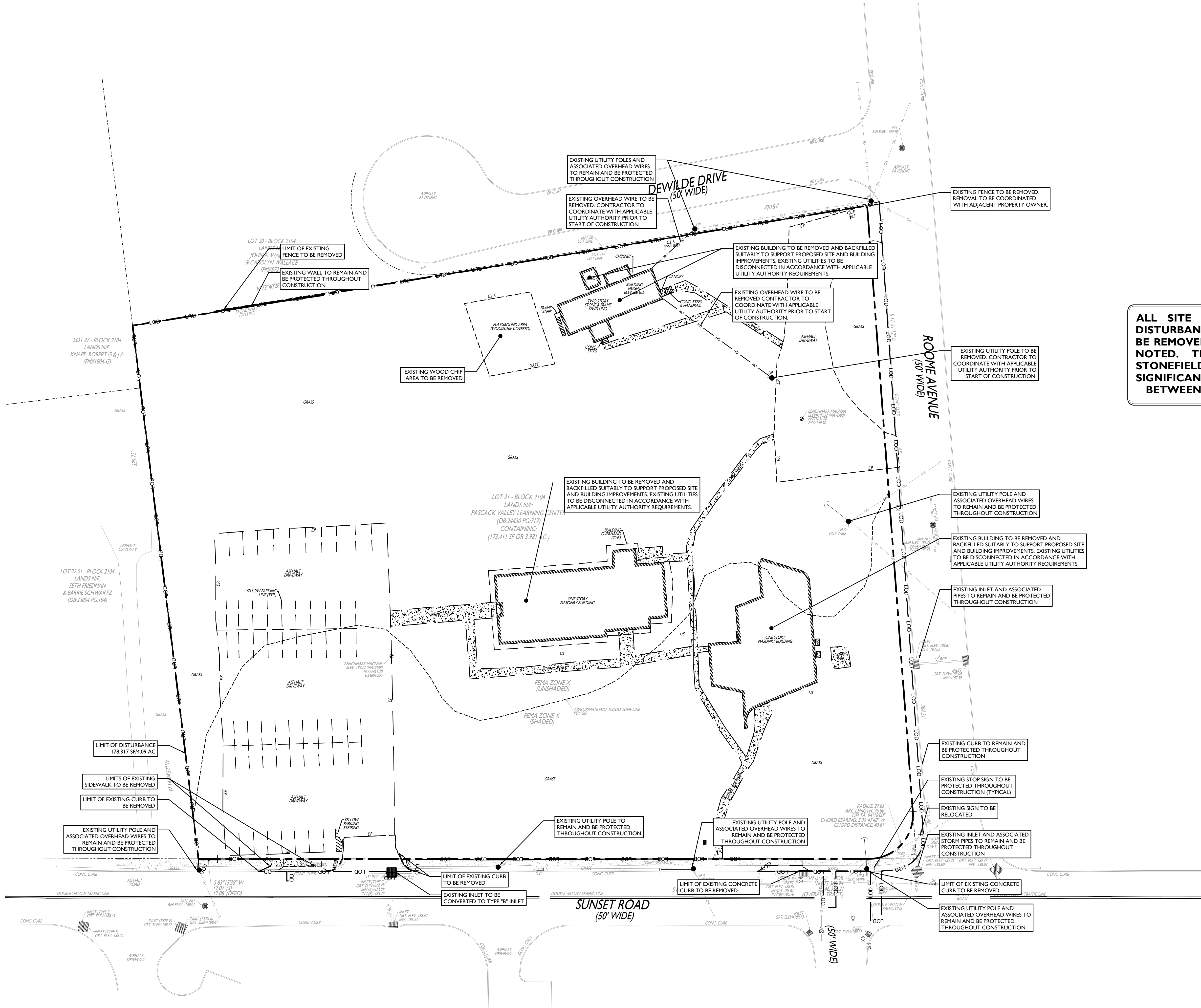
TITLE:	
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COVER SHEET

DRAWING:

C-1

Z:\PROJECTS\2022\220209 ONE SCHOOL GLOBAL - 60 SUNSET ROAD PEQUANNOCK\DWG\220209 ONE SCHOOL GLOBAL - 60 SUNSET ROAD PEQUANNOCK\DWG\220209 ONE SCHOOL GLOBAL - 60 SUNSET ROAD PEQUANNOCK.DWG



SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LOD
---	LIMIT OF DISTURBANCE

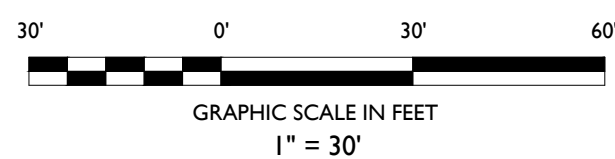
ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's below
Call before you dig.

DEMOLITION NOTES

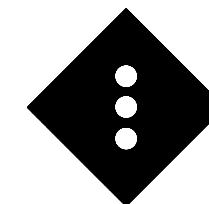
1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITIES' REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	DESCRIPTION
PD	EC	PK	PK	PK	PK	
07/14/2023	04/06/2023	02/15/2023	12/02/2022	11/08/2022	10/17/2022	
6	5	4	3	2	1	ISSUE
						DATE
						BY

NOT APPROVED FOR CONSTRUCTION

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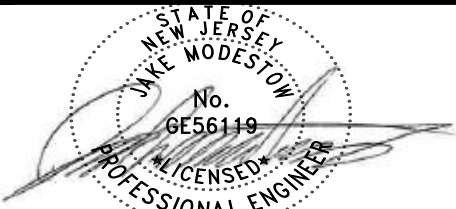
Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefielddeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone 201.340.4468 · Fax 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLANS

ONE SCHOOL GLOBAL
PROPOSED K-12 GRADE SCHOOL

BLOCK 2104, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY



JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

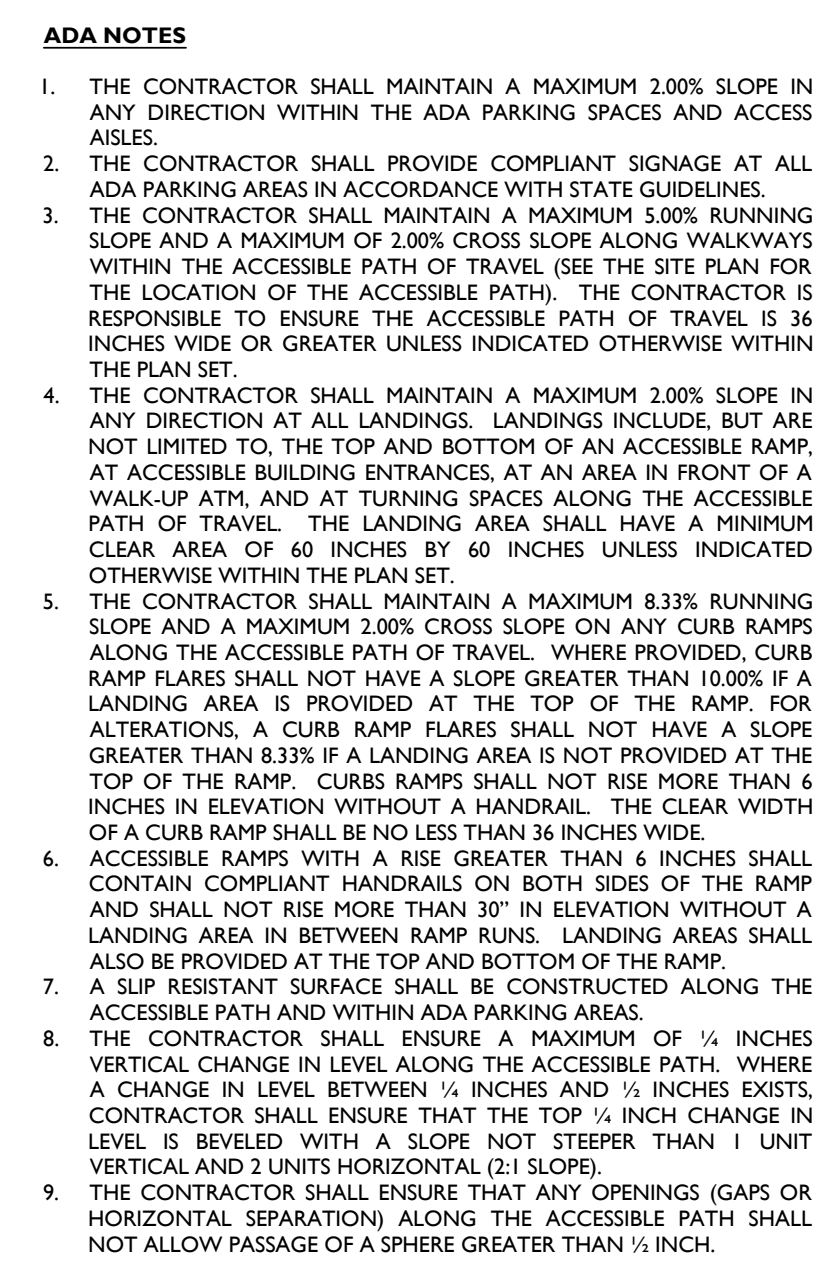
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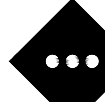
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DEMOLITION PLAN

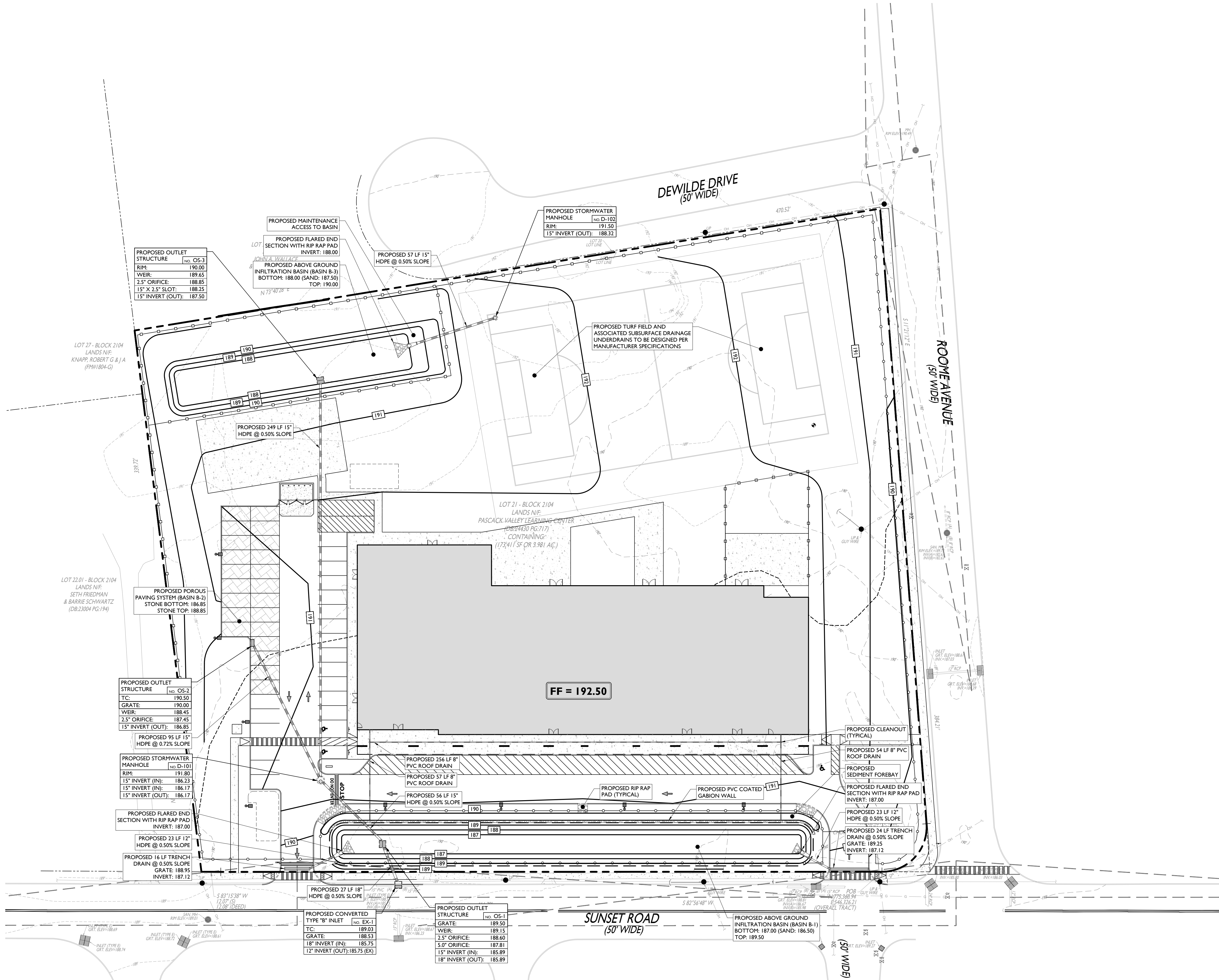
DRAWING:

C-2



		STONEFIELD engineering & design
SCALE:	1" = 30'	PROJECT ID: RUT-220209
TITLE:		
GRADING PLAN		
DRAWING:		
C-4		

Z:\PROJECTS\2022\220207 ONE SCHOOL GLOBAL - 60 SUNSET ROAD PEQUANNOCK\220207 ONE SCHOOL GLOBAL - 60 SUNSET ROAD PEQUANNOCK\220207 ONE SCHOOL GLOBAL - 60 SUNSET ROAD PEQUANNOCK.dwg



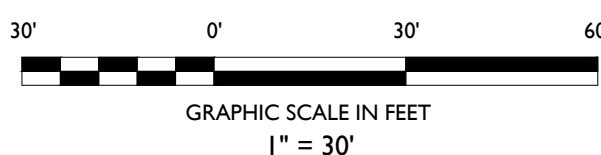
SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGELINE
	PROPOSED STORMWATER STRUCTURES
	PROPOSED STORMWATER PIPING
	PROPOSED UNDERGROUND OUTLET STRUCTURE

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
 - CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
 - THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

- EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**
- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
 - THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

- STORMWATER INFILTRATION BMP CONSTRUCTION NOTES**
- PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED TO BE USED FOR AN INFILTRATION BMP (E.G. BASIN, BIORETENTION AREA, ETC.) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR CONSTRUCTION EQUIPMENT OR AS A STOCKPILE AREA FOR CONSTRUCTION MATERIALS. NO ACTIVITY SHALL BE PERMITTED WITHIN THE INFILTRATION BASIN AREA UNLESS RELATED TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL SUBCONTRACTORS OF BASIN AREA RESTRICTIONS.
 - THE CONTRACTOR SHALL MAKE EVERY EFFORT, WHERE PRACTICAL, TO AVOID SUBGRADE SOIL COMPACTION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
 - ALL EXCAVATION WITHIN THE LIMITS OF ANY INFILTRATION BMP SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT (LESS THAN 8 PSI APPLIED TO THE GROUND SURFACE) IS RECOMMENDED WITHIN THE BASIN LIMITS.
 - THE SEQUENCE OF SITE CONSTRUCTION SHALL BE COORDINATED WITH BASIN CONSTRUCTION TO ADHERE TO SEQUENCING LIMITATIONS.
 - DURING THE FINAL GRADING OF AN INFILTRATION BASIN, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAW OR EQUIVALENT GRADING EQUIPMENT. ALL GRADING EQUIPMENT SHALL BE LOCATED OUTSIDE OF THE BASIN BOTTOM WHERE FEASIBLE.
 - FOLLOWING CONSTRUCTION OF AN INFILTRATION BASIN, SOIL INFILTRATION TESTING BY A LICENSED GEOTECHNICAL ENGINEER IS REQUIRED TO CERTIFY COMPLIANCE WITH THE DESIGN INFILTRATION RATES IN ACCORDANCE WITH APPENDIX E OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES MANUAL, LATEST EDITION. IF THE FIELD INFILTRATION RATES ARE LOWER THAN THE RATE USED DURING DESIGN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IMMEDIATELY TO DETERMINE THE APPROPRIATE COURSE OF ACTION.
 - THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TO DETERMINE IF WITNESS TESTING IS REQUIRED DURING INFILTRATION BASIN EXCAVATION AND/OR SOIL INFILTRATION TESTING.

- STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES**
- THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
 - UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
 - NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.



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ONE SCHOOL GLOBAL
PROPOSED K-12 GRADE SCHOOL

JAKE MODESTOW, P.E.
NEW JERSEY LICENSE NO. 56119
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: RUT-220209

TITLE:
**STORMWATER
MANAGEMENT PLAN**

DRAWING:

C-5

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engineering & design
Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com
Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone 201.340.4468 • Fax 201.340.4472

ONE SCHOOL GLOBAL
PROPOSED K-12 GRADE SCHOOL
BLOCK 2.104, LOT 2.1
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY

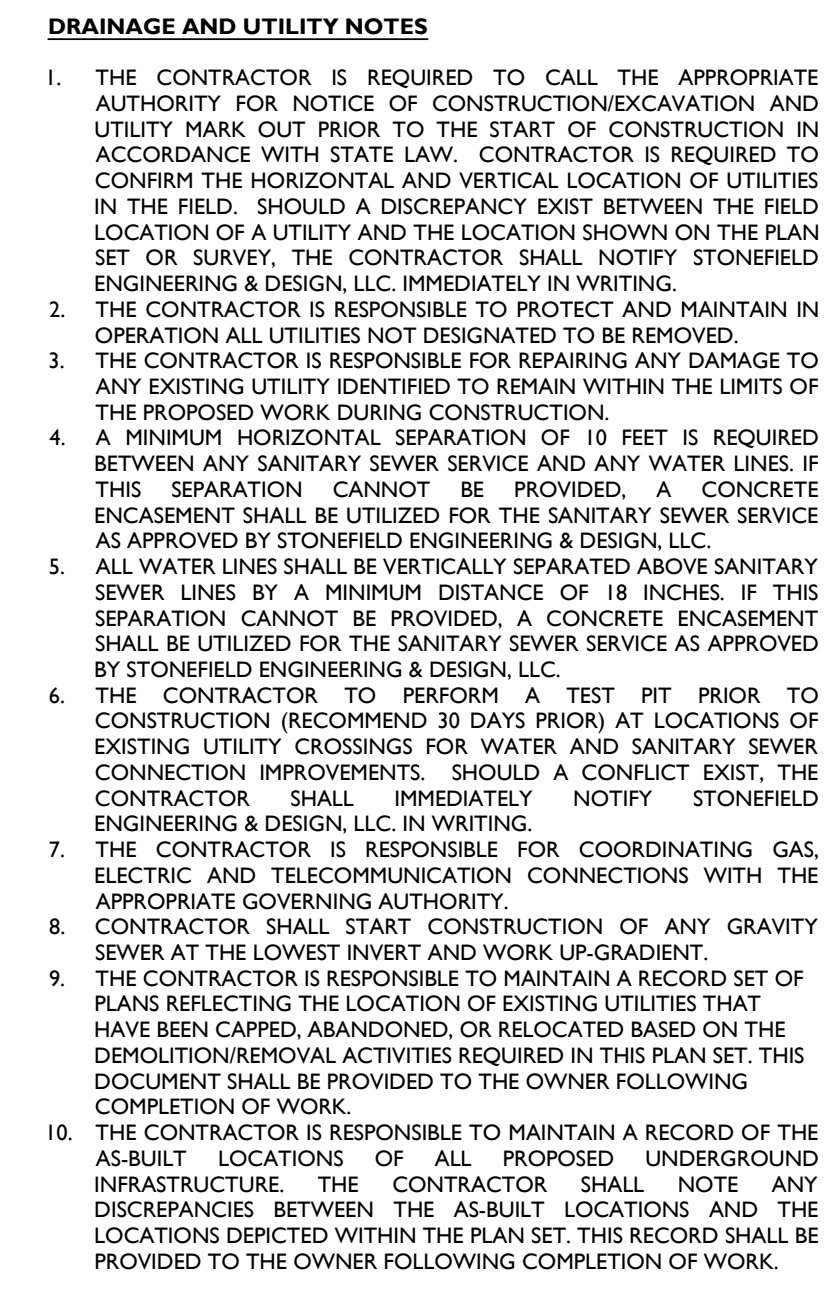
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SCALE: 1" = 30' PROJECT ID: RUT-220209

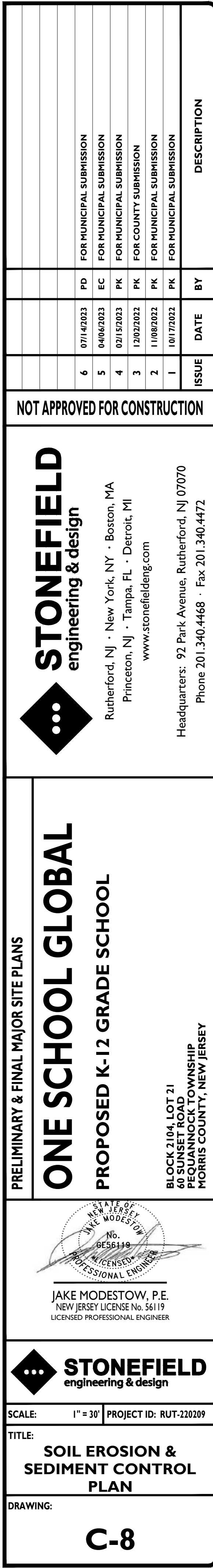
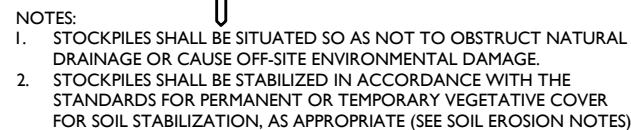
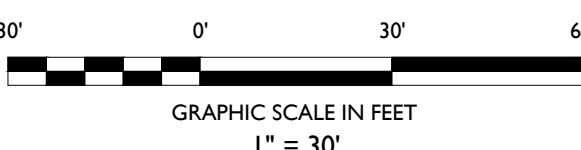
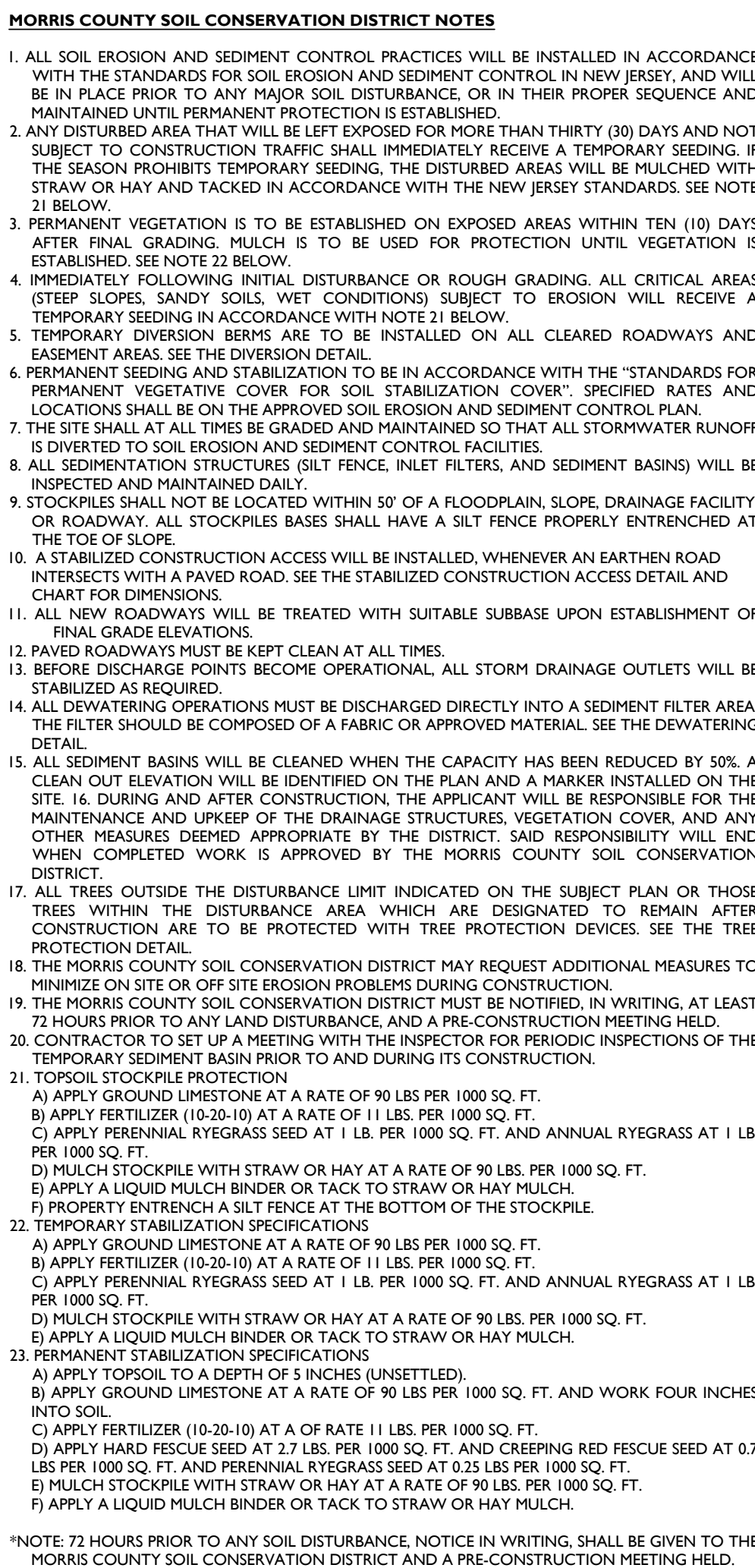
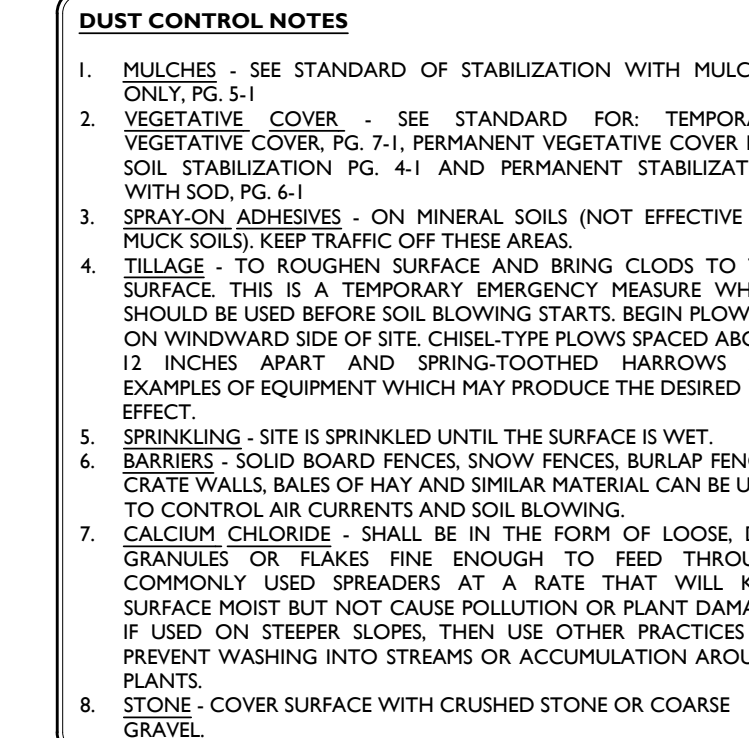
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**STORMWATER
MANAGEMENT PLAN**

DRAWING:

C-5



PRELIMINARY & FINAL MAJOR SITE PLANS	ONE SCHOOL GLOBAL PROPOSED K-12 GRADE SCHOOL  JAKE MODESTOW, P.E. NEW JERSEY LICENSE No. 56119 LICENSED PROFESSIONAL ENGINEER BLOCK 2104, LOT 21 60 SUNSET ROAD PEQUANNOCK TOWNSHIP MORRIS COUNTY, NEW JERSEY
 STONEFIELD engineering & design	
SCALE: 1" = 30'	PROJECT ID: RUT-220209
TITLE: UTILITY PLAN	
DRAWING: C-6	

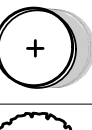
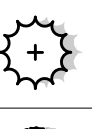
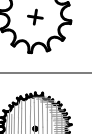
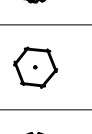
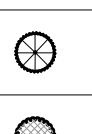
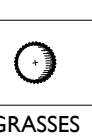
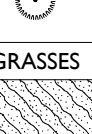
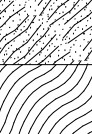
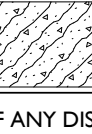
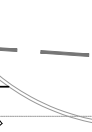




LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 360-56.D(8)(b)	OFF-STREET PARKING LANDSCAPING ALONG ROW THERE SHALL BE A 8 FT LANDSCAPE AREA WITH TREES AND A HEDGE OR WALL	COMPLIES
§ 360-56.D(8)(c)	5% OF TOTAL PARKING AREA TO BE INTERIOR LANDSCAPE. (21,978 TOTAL SF)/(0.05) = 1,099 SF PARKING LOT TREES 1 TREE FOR EVERY 5 PARKING SPACES (4 SPACES)/(1 TREE / 5 SPACES) = 9 TREES	1,141 SF 9 TREES

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO PROVIDE SENSORS AND CONTROLLERS WHERE AVAILABLE. PRESSURE SHALL BE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN LANDSCAPE AREAS.

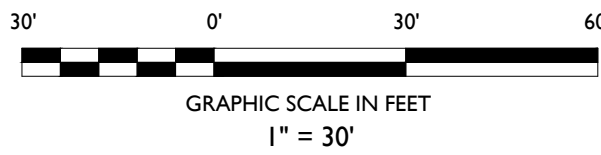


Plant Schedule						
Deciduous Trees	Code	Qty	Botanical Name	Common Name	Size	Container
	ACE	4	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5" - 3" CAL	B&B
	CER	3	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	8' - 10' HT	B&B
	CFL	15	CORNUS FLORIDA	FLOWERING DOGWOOD	2.5" - 3" CAL	B&B
	QUE	11	QUERCUS PHELLOS	WILLOW OAK	2.5" - 3" CAL	B&B
	QRU	3	QUERCUS RUBRA	RED OAK	2.5" - 3" CAL	B&B
Evergreen Trees	Code	Qty	Botanical Name	Common Name	Size	Container
	AME	21	ILEX OPACA	AMERICAN HOLLY	6' - 7' HT	B&B
	JUV	70	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6' - 7' HT	B&B
	MAG	7	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	2.5" - 3" CAL	B&B
	PIC	18	PICEA ABIES	NORWAY SPRUCE	6' - 7' HT	B&B
	PDO	30	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6' - 7' HT	B&B
Shrubs	Code	Qty	Botanical Name	Common Name	Size	Container
	AZA	71	AZALEA X 'DELAWARE VALLEY WHITE'	VALLEY WHITE AZALEA	24" - 30"	POT
	CLE	9	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE CLETHRA	24" - 30"	POT
	HME	7	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'™	BAILMER HYDRANGEA	24" - 30"	POT
	HPL	9	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	24" - 30"	POT
	MYR	23	MYRJICA PENSYLVANICA	NORTHERN BAYBERRY	24" - 30"	POT
	ROS	140	ROSA X 'DOUBLE KNOCKOUT'	ROSE	18" - 24"	POT
	VIB	70	VIBURNUM DENTATUM	VIBURNUM	18" - 24"	POT
Evergreen Shrubs	Code	Qty	Botanical Name	Common Name	Size	Container
	ICO	97	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	18" - 24"	POT
	PRU	4	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	SCHIPKA ENGLISH LAUREL	42" - 48"	B&B
Grasses	Code	Qty	Botanical Name	Common Name	Size	Container
	CAL	33	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	3 GAL.	POT
Grasses	Code	Qty	Botanical Name	Common Name	Size	Container
	CAR	61	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	1 GAL.	POT; 18" O.C.
	PAN	159	PANICUM VIRGATUM	SWITCH GRASS	3 GAL.	POT; 36" O.C.
	LIL	55	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	1 GAL.	POT; 36" O.C.
Perennials	Code	Qty	Botanical Name	Common Name	Size	Container
	ECH	106	ECHINACEA PURPUREA 'KIM'S KNEE HIGH'	KIM'S KNEE HIGH CONEFLOWER	1 GAL.	POT; 18" O.C.

LANDSCAPING NOTES

2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS WITH A MINIMUM 1 INCH LAYER OF TOPSOIL AND SEED.
4. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
5. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS NOTED OTHERWISE WITHIN THE PLAN SET.
6. IF THE CONTRACTOR IS REQUIRED TO REMOVE ANY EXISTING LANDSCAPING, THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S REQUIREMENTS WITHIN ANY EXISTING OR PROPOSED PLANTING AREAS.
7. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE EXISTING GRADE. UNLESS NOTED OTHERWISE WITHIN THE PLAN SET, NO ABOVE CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.

PAUL DEVITTO, L.L.A.
NEW JERSEY LICENSE No. 21AS00123500
LICENSED LANDSCAPE ARCHITECT



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PRELIMINARY & FINAL MAJOR SITE PLANS

ONE SCHOOL GLOBAL
PROPOSED K-12 GRADE SCHOOL

**BLOCK 2104, LOT 21
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY**



JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 30' **PROJECT ID:** RUT-220209

TITLE:

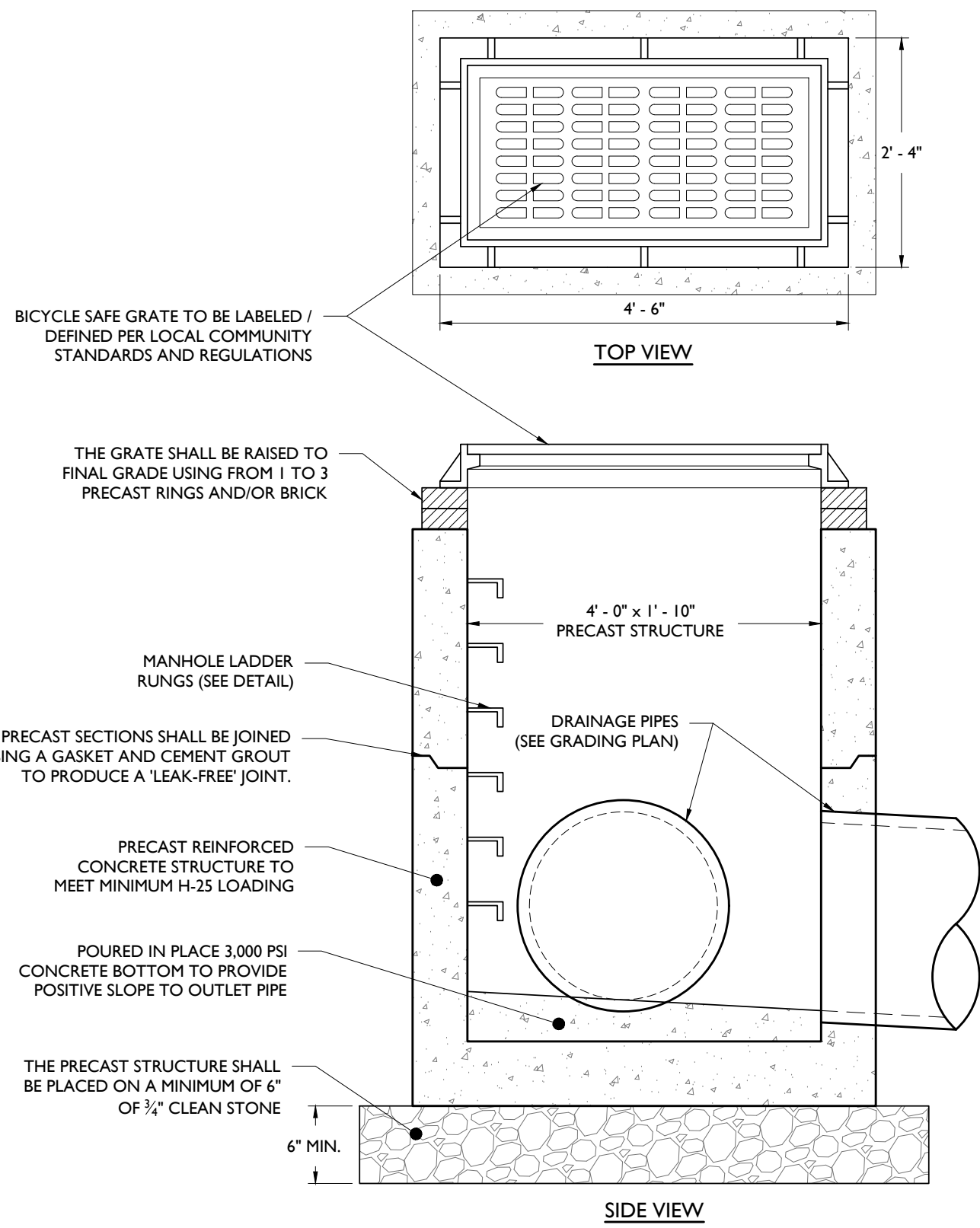
LANDSCAPING PLAN

DRAWING:

C-9

Z:\PROJECTS\2022\220207 ONE SCHOOL GLOBAL - 60 SUNSET ROAD PEQUANNOCK\PEQUANNOCK\220207 ONE SCHOOL GLOBAL.dwg 11/13/2022 JWG

- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
 3. ALL JOINTS TO BE WATER-TIGHT.
 4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

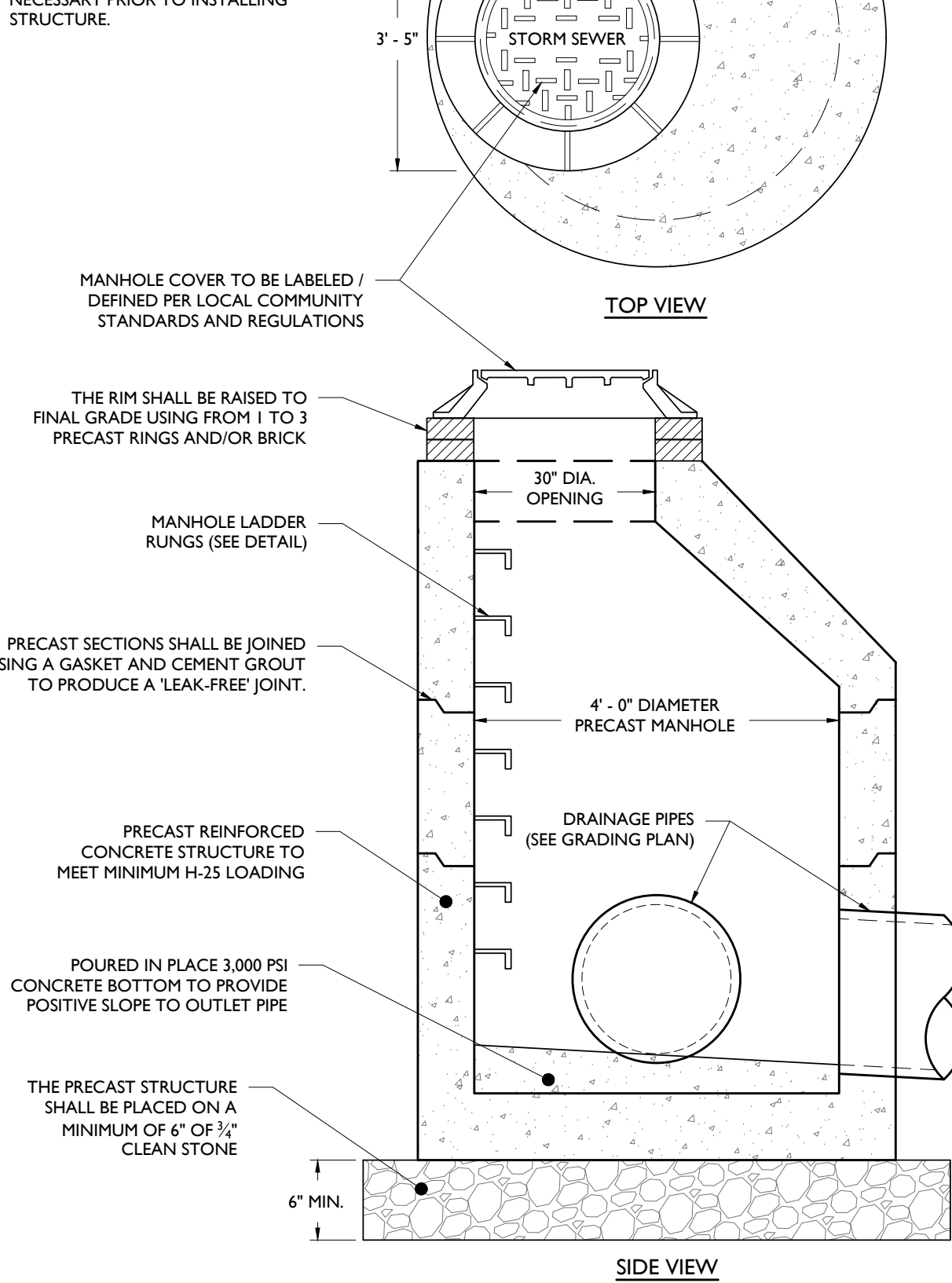


TYPE 'A' STORM INLET DETAIL

NOT TO SCALE

1

- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 2. FRAME AND COVER TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
 3. ALL JOINTS TO BE WATER-TIGHT.
 4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

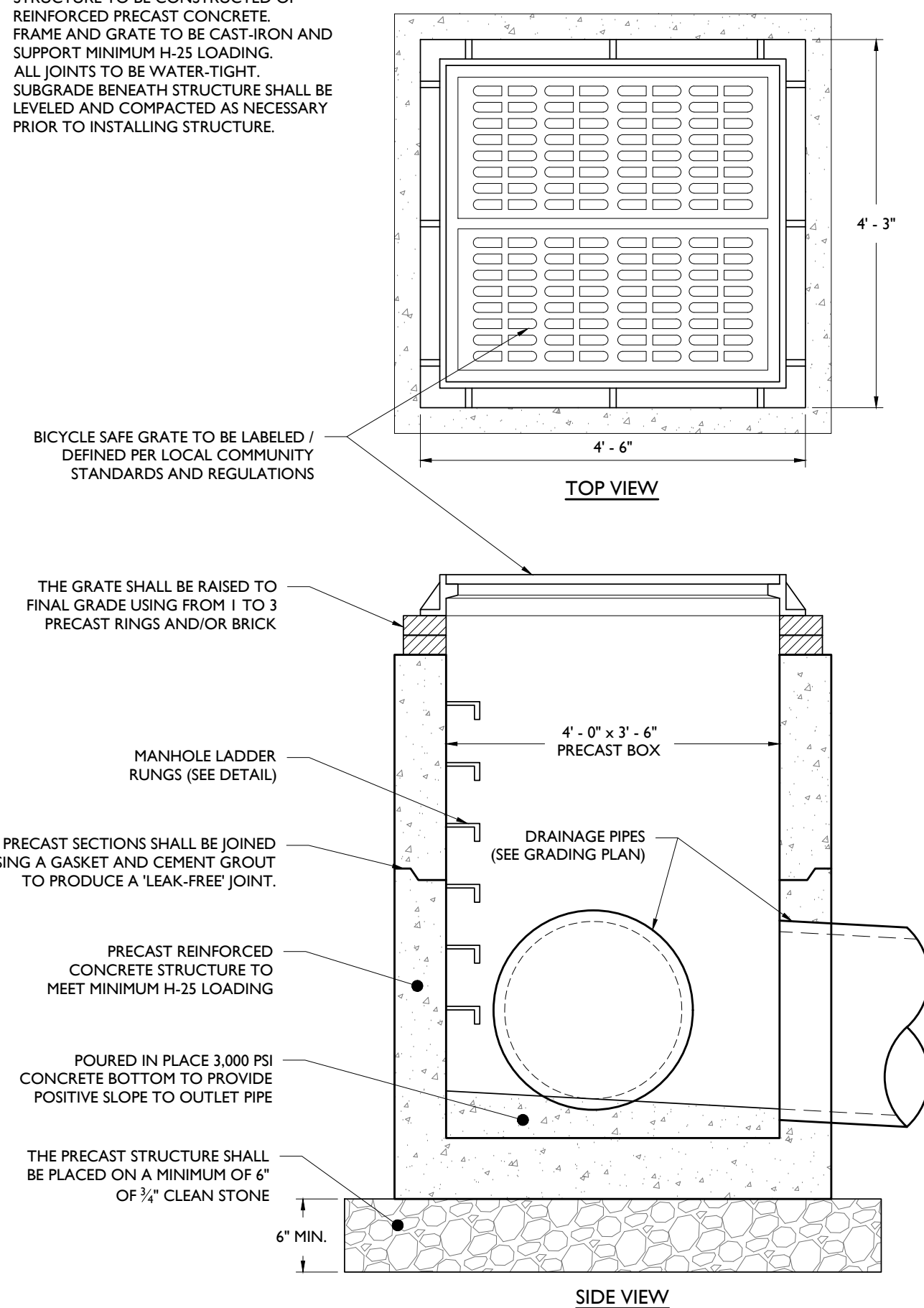


STORM MANHOLE DETAIL

NOT TO SCALE

2

- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
 3. ALL JOINTS TO BE WATER-TIGHT.
 4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

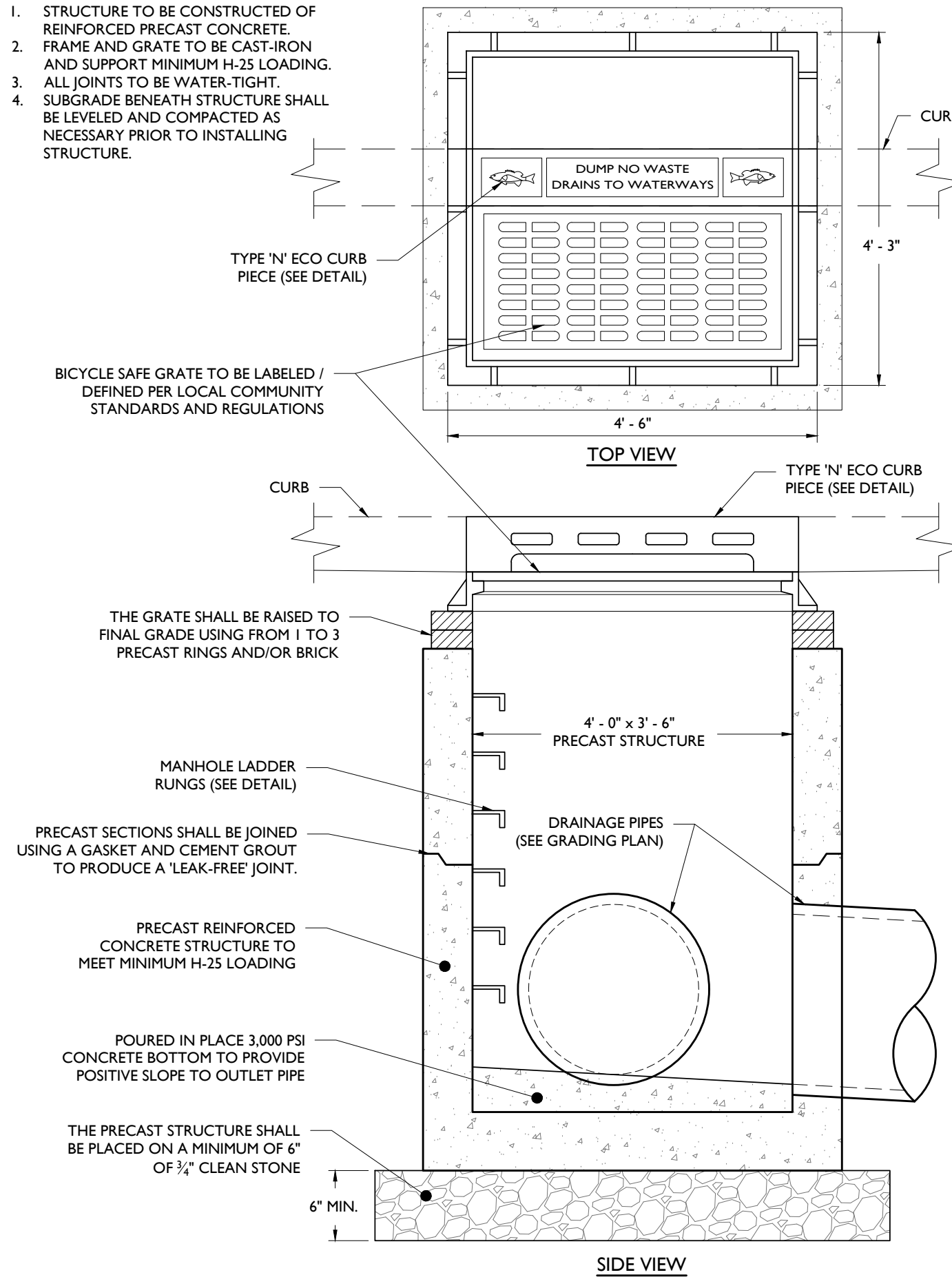


TYPE 'E' STORM INLET DETAIL

NOT TO SCALE

7

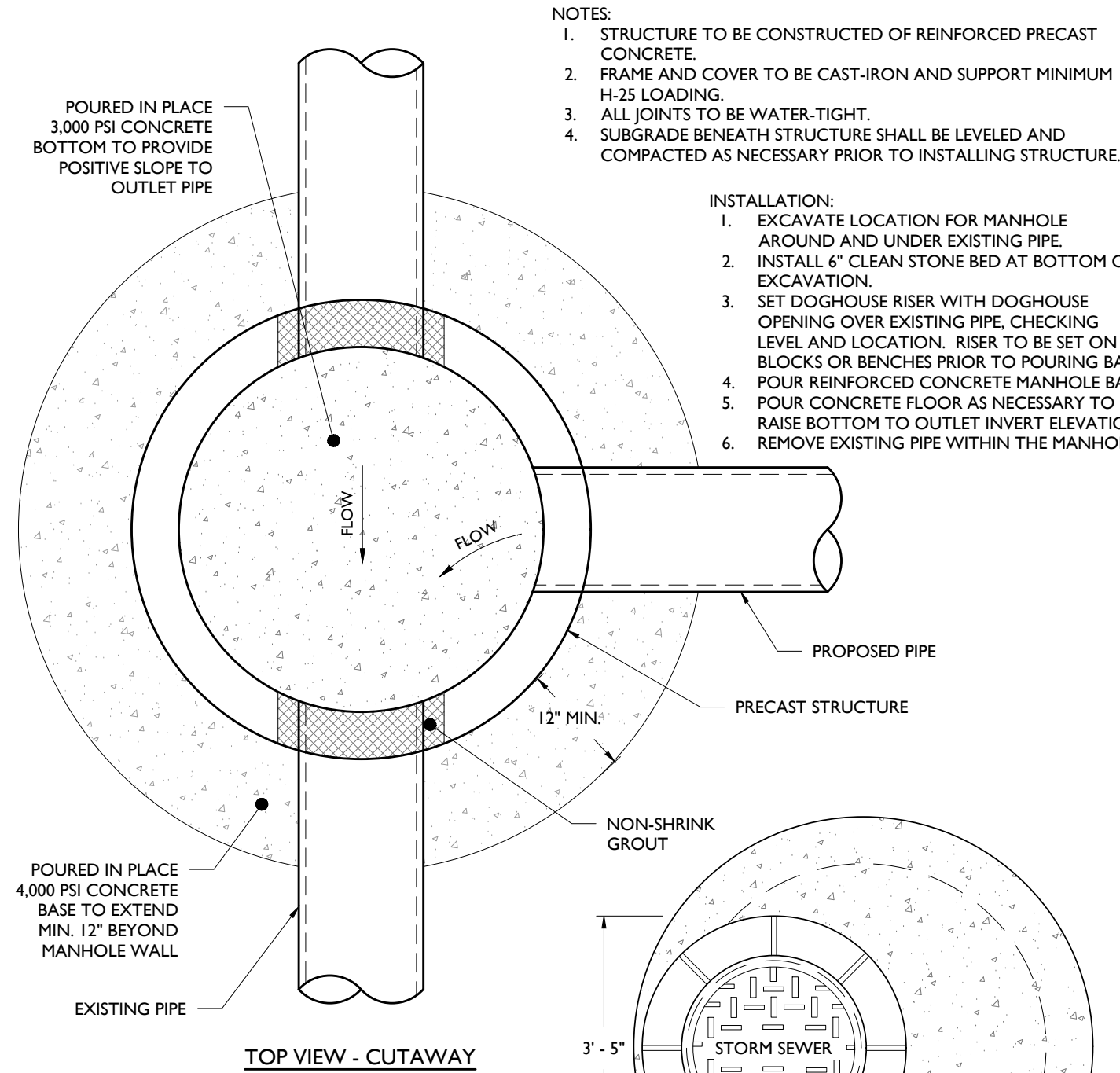
- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
 3. ALL JOINTS TO BE WATER-TIGHT.
 4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.



TYPE 'B' STORM INLET DETAIL

NOT TO SCALE

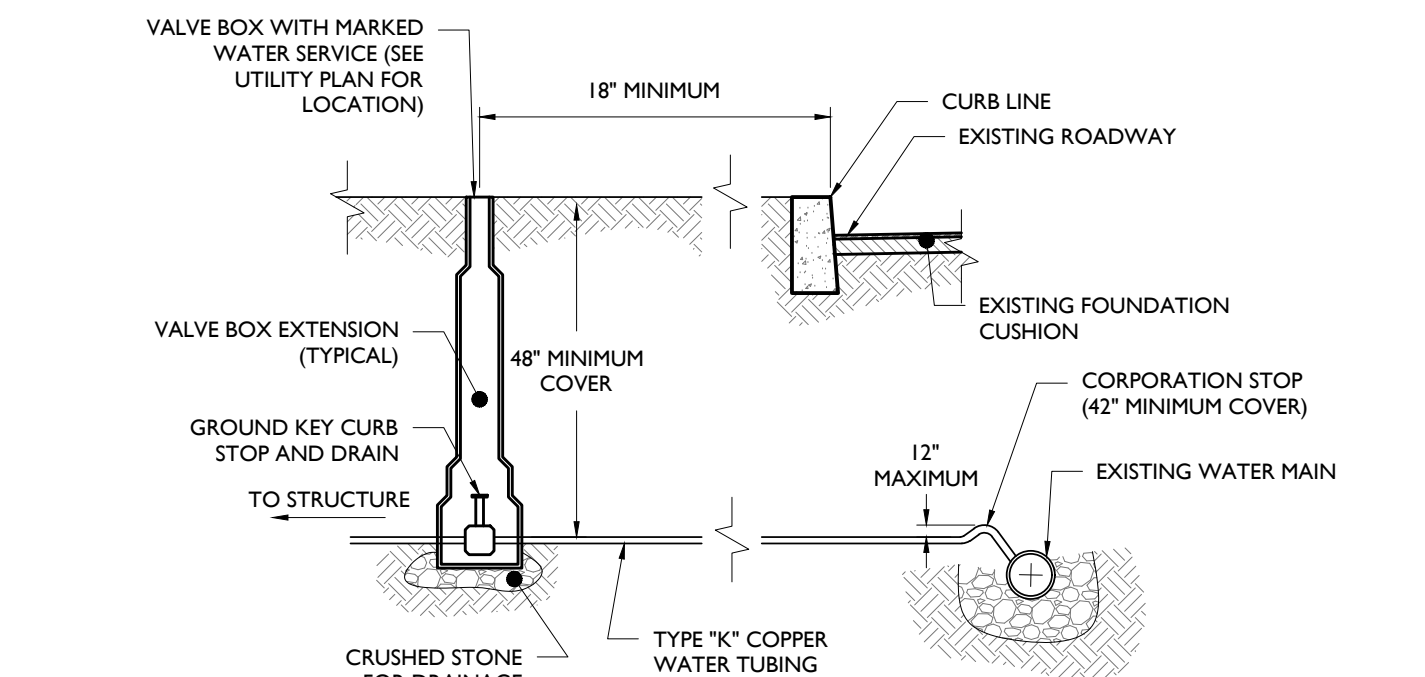
8



DOGHOUSE SANITARY MANHOLE DETAIL

NOT TO SCALE

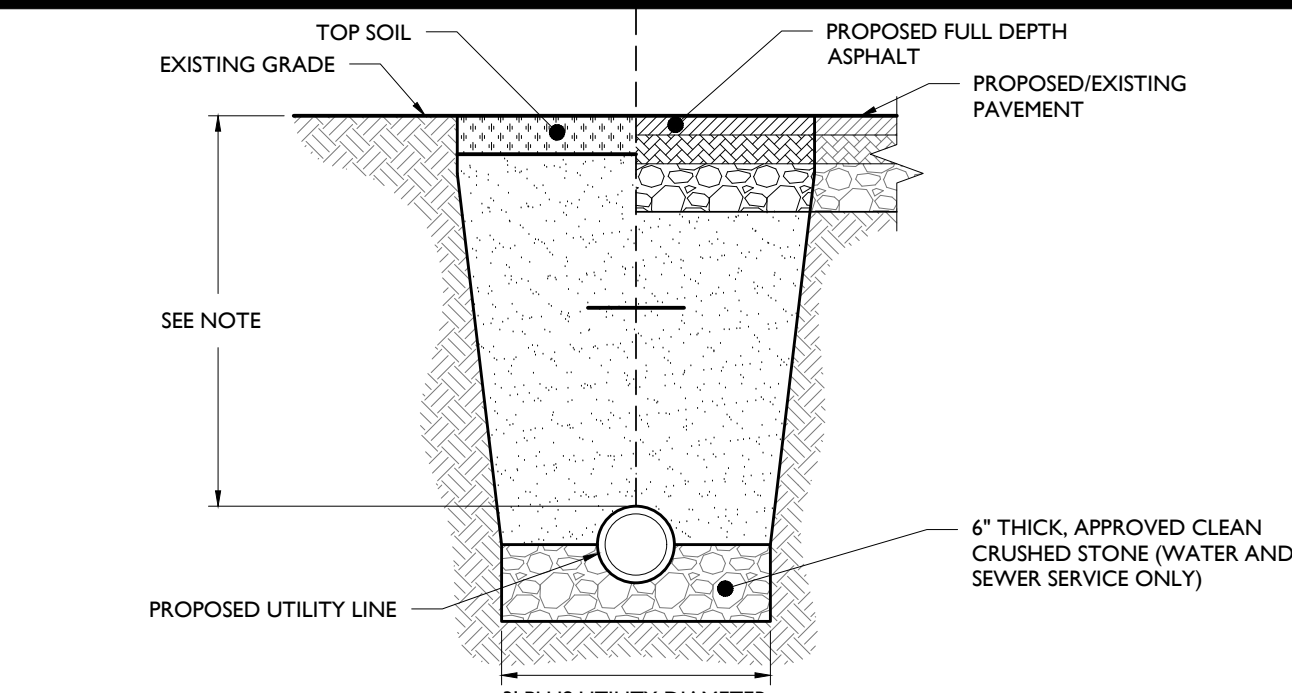
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WATER CONNECTION DETAIL

NOT TO SCALE

9

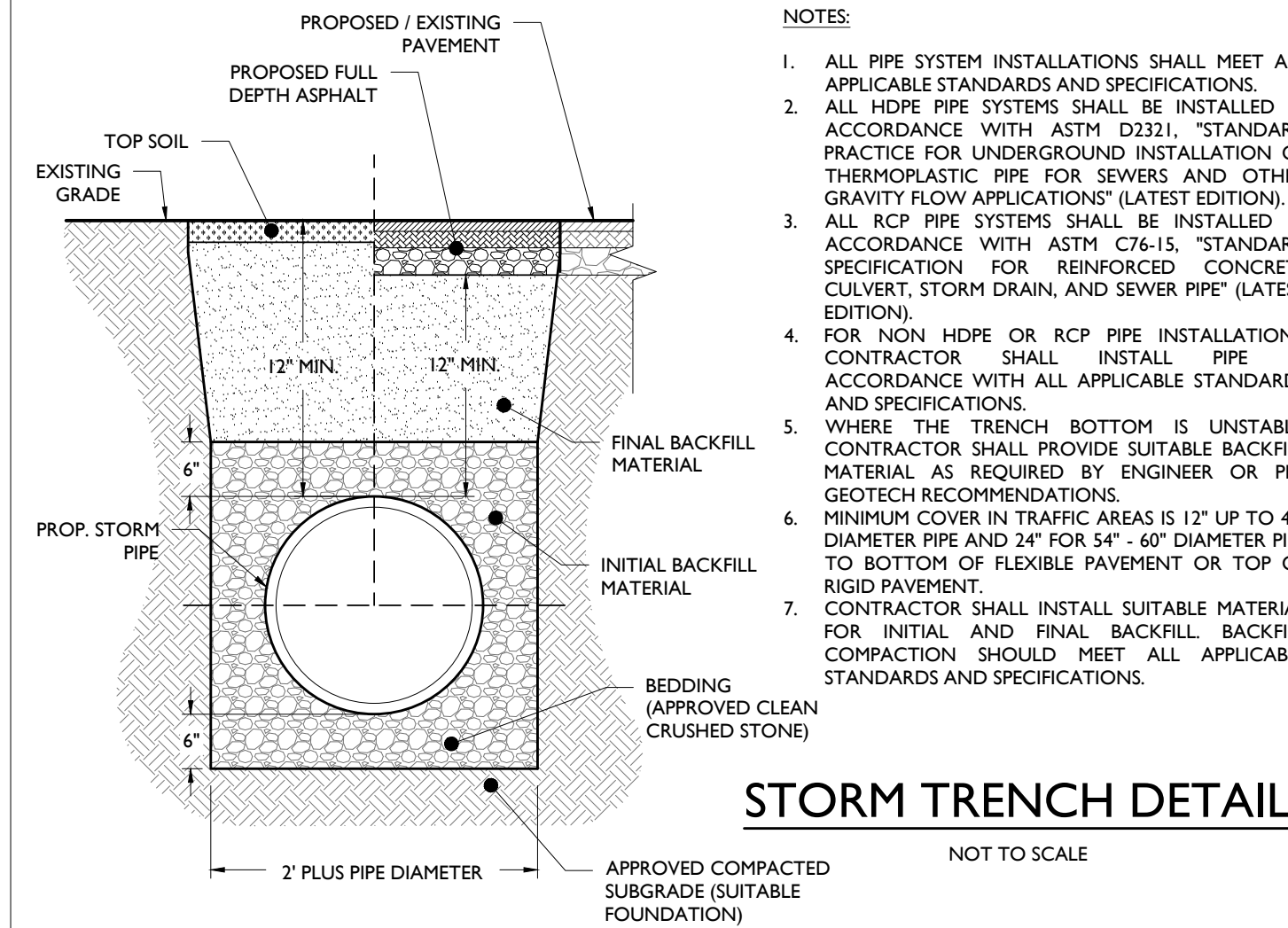


UTILITY TRENCH DETAIL

NOT TO SCALE

4

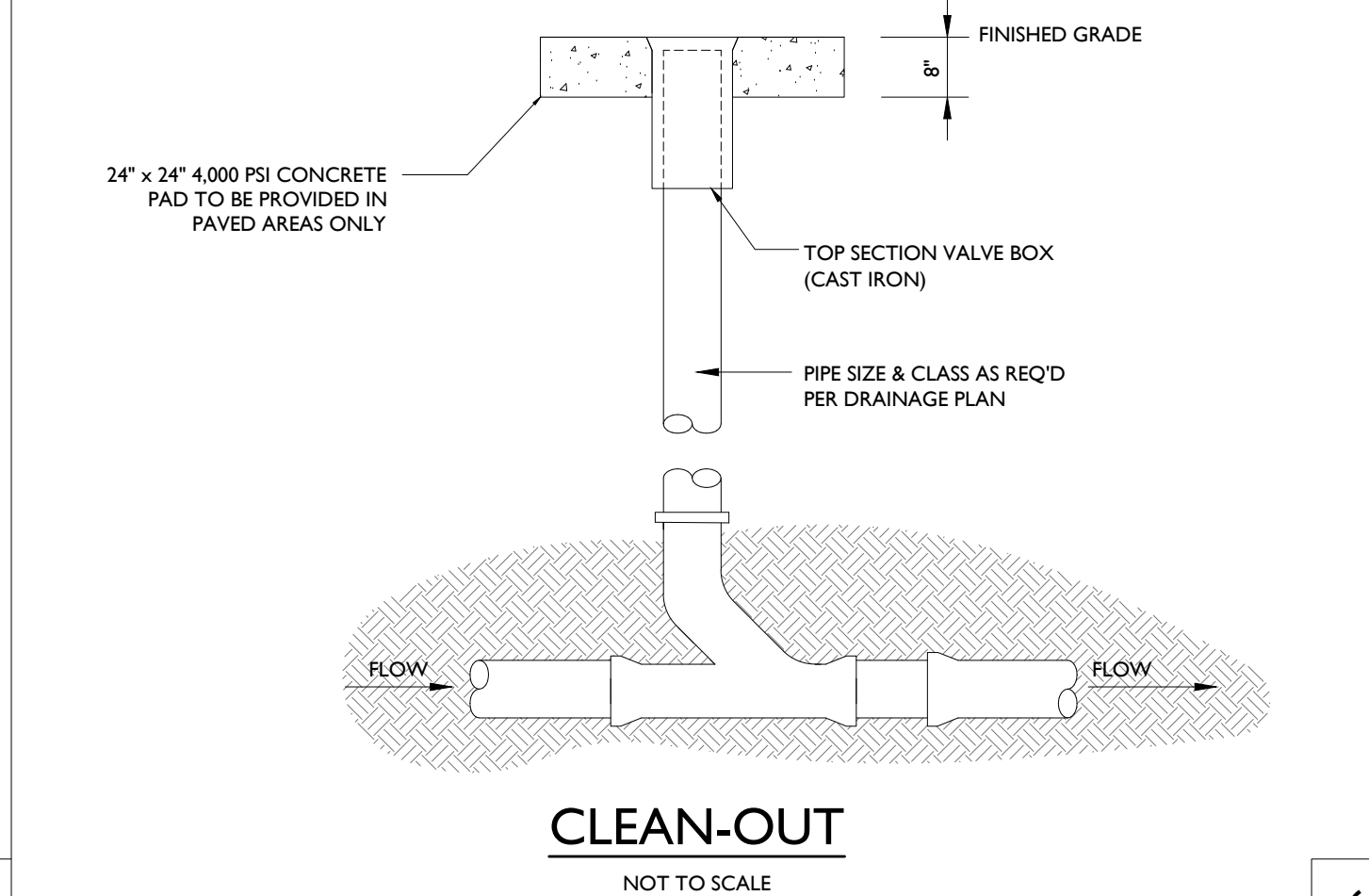
- NOTE:
- MINIMUM PIPE COVER SHALL BE AS FOLLOW:
- ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
 - GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
 - SEWER SERVICE - 36" MINIMUM
 - WATER SERVICE - 48" MINIMUM



STORM TRENCH DETAIL

NOT TO SCALE

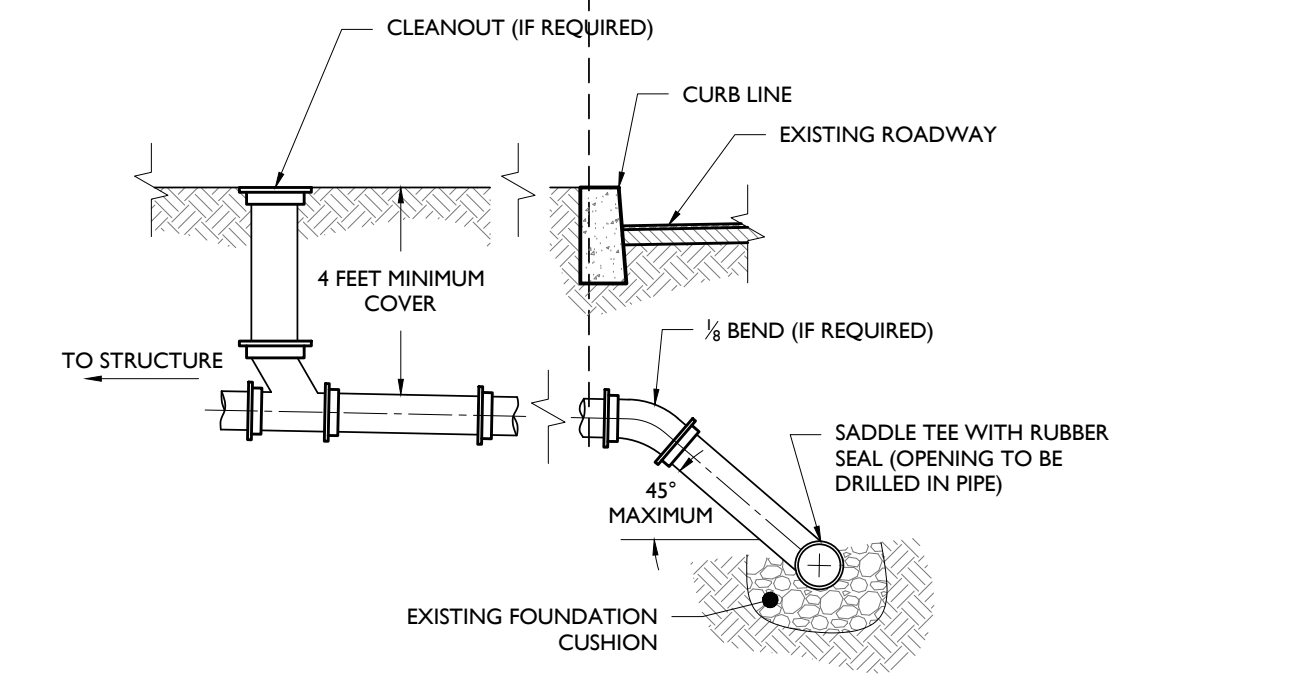
5



CLEAN-OUT

NOT TO SCALE

6



SEWER CONNECTION DETAIL

NOT TO SCALE

10

PRELIMINARY & FINAL MAJOR SITE PLANS

ONE SCHOOL GLOBAL

PROPOSED K-12 GRADE SCHOOL

BLOCK 2.104, LOT 2.1
60 SUNSET ROAD
PEQUANNOCK TOWNSHIP
MORRIS COUNTY, NEW JERSEY

JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: RUT-220209

TITLE:
**CONSTRUCTION
DETAILS**

DRAWING:

C-12

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NOT APPROVED FOR CONSTRUCTION

NO.	DATE	BY	DESCRIPTION
1	07/14/2023	PD	FOR MUNICIPAL SUBMISSION
2	08/06/2023	EC	FOR MUNICIPAL SUBMISSION
3	02/15/2023	PK	FOR MUNICIPAL SUBMISSION
4	12/02/2022	PK	FOR MUNICIPAL SUBMISSION
5	11/08/2022	PK	FOR MUNICIPAL SUBMISSION
6	10/17/2022	PK	FOR MUNICIPAL SUBMISSION

