Pompton **Plains**

LOCATION / KEY MAP

SCALE: $I'' = 1000' \pm$

PRELIMINARY & FINAL MAJOR SITE PLAN **FOR**

ONE SCHOOL GLOBAL PROPOSED K-12 GRADE SCHOOL

60 SUNSET ROAD

PEQUANNOCK TOWNSHIP, MORRIS COUNTY, NEW JERSEY

LOT 30

LOT 27

LOT 22.01

LOT

22.02

BLOCK 2102

LOT 7

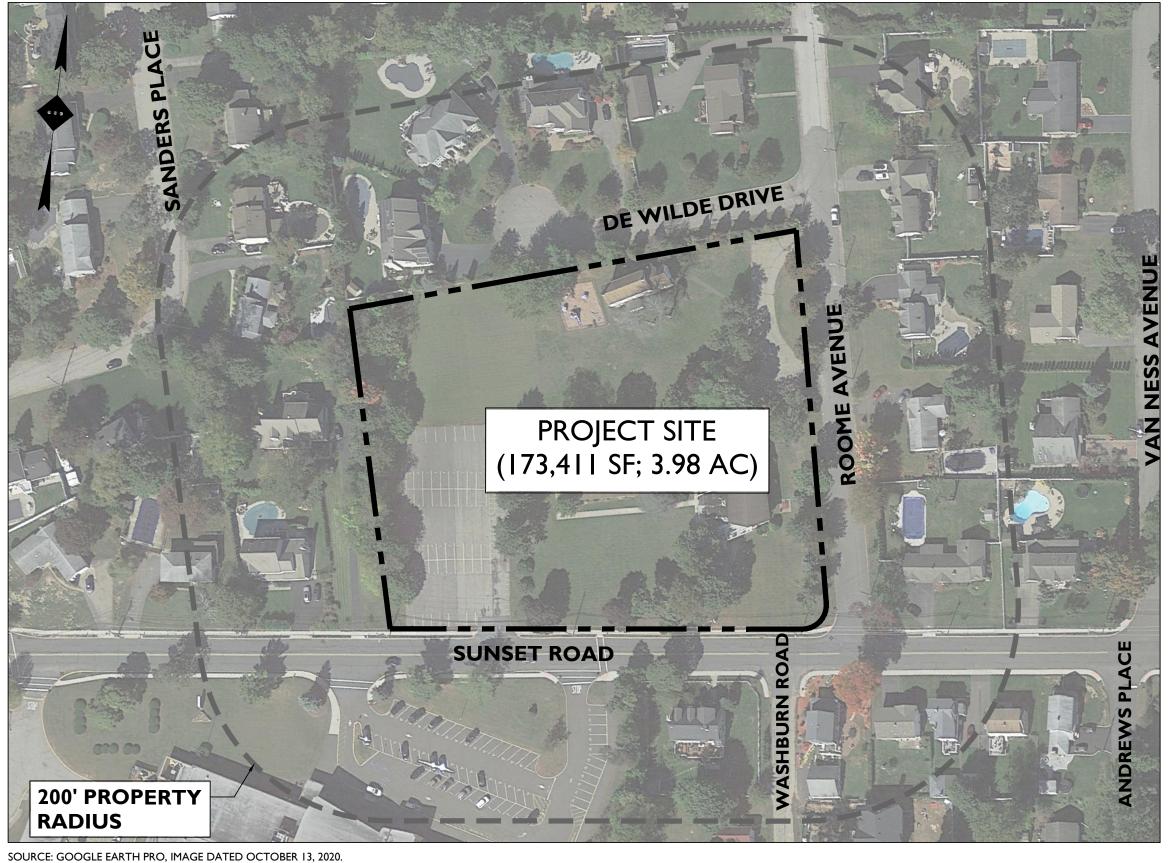
LOT 24

200' PROPERTY

RADIUS

APPROVAL BLOCK APPROVED BY THE TOWNSHIP OF PEQUANNOCK DATE **CHAIRPERSON** DATE **SECRETARY**

BLOCK 2104, LOT 21





TOWNSHIP OF PEQUANNOCK 200' PROPERTY OWNERS LIST

LOT	OWNER	OWNER'S ADDRESS				
101	WALLACE, JOHN A/	8 DE WILDE DR	ВLОСК	LOT	OWNER	OWNER'S ADDRESS
20	CAROLYN	POMPTON PLAINS NJ 07444	2107	10	D'ANDREA, RICHARD & DEBBI	4 ROOME AVE POMPTON PLAINS NI 07444
19	JACHERA, ROBERT M & ANN M	6 DE WILDE DR POMPTON PLAINS NI 07444		10	LYN	,
18	NACINOVICH, KEITH & MICHELE	4 DE WILDE DR POMPTON PLAINS NI 07444	2107	9	WALTER, RICHARD M & MEGAN A	50 SUNSET RD POMPTON PLAINS NJ 07444
17	ANDRIKANICH,	I I ROOME AVE	2107	4	BURBANK, IRENE	9 VAN NESS AVE POMPTON PLAINS N J 07444
16	MICHAEL/ALYSON DRIESSE, JOHN H. &	POMPTON PLAINS, NJ 07444 7 VAN SAUN PL	2107	5	FERNANDEZ, JOHN P T & MULDER, CHRIS	7 VAN NESS AVE POMPTON PLAINS N J 07444
29	CLAUDIA LATTA, NANCY C	POMPTON PLAINS N J 07444 10 SANDERS PL	2107	6	DELMO, LOIS	5 VAN NESS AVE POMPTON PLAINS, NJ 07444
	TEDESCO, JOHN A &	POMPTON PLAINS N J 07444 8 SANDERS PL	2107	7	BAILEY, ROBERT & BARBARA	3 VAN NESS AVE POMPTON PLAINS N 07444
28	DANIELLE KNAPP, ROBERT G &	POMPTON PLAINS N J 07444 6 SANDERS PL	2107	8	NUCCI, CORIE AKA ZODDA, CORIE	48 SUNSET RD POMPTON PLAINS NI 07444
27	JA	POMPTON PLAINS N J 07444		10	PEQ TWP BD OF ED -	85 SUNSET RD
22.01	HERFORTH, MARK & CHRISTINE	72 SUNSET RD POMPTON PLAINS, NJ 07444	2501	12	HIGH SCHOOL	POMPTON PLAINS NJ 07444
22.02	FRIEDMAN, SETH/SCHWARTZ,	74 SUNSET RD POMPTON PLAINS, NJ 07444	2501	I	LAFOON, LONNIE/DEFABIIS, DONNA	63 SUNSET RD POMPTON PLAINS, NJ 07444
23	BARRIE GRIFFIN, JAMES	78 SUNSET RD	2501	2	POSTOYAN, VIKEN & BARBARA ANN	51 WASHBURN RD POMPTON PLAINS N J 07444
26	A/CABRERA, JANET MOLOUGHNEY,	POMPTON PLAINS NJ 07444 4 SANDERS PL	2502	ı	NACION, JOHN & KRISTIN LYN	57 SUNSET RD POMPTON PLAINS N J 07444
13	JOSEPH & JOANNE ELEFANTE, JOSEPH	POMPTON PLAINS NJ 07444 10 ROOME AVE	2502	28	SELA, ZULFIRET	P O BOX 4167 WAYNE NJ 07470
13	BOROVSKIS.	POMPTON PLAINS NJ 07444 8 ROOME AVE	2502	2	WU, CHI CHENG &	55 SUNSET RD
12	ALEXANDER & SUSAN ANN	POMPTON PLAINS NJ 07444	2502	3	BETTY BLOIS, RALPH J & E J	POMPTON PLAINS N J 07444 53 SUNSET RD
	SACHDEVA,	6 ROOME AVE	2502	,		POMPTON PLAINS N J 07444
11	SIMRAN/PANDEY, AVNEESH	POMPTON PLAINS, NJ 07444	2502	4	VANDER GOOT, ROBERT	51 SUNSET RD POMPTON PLAINS N J 07444

TOWNSHIP OF PEQUANNOCK 200' PROPERTY OWNERS LIST

PLANS PREPARED BY:





Rutherford, NJ · New York, NY · Boston, MA Princeton, NJ · Tampa, FL · Detroit, MI www.stonefieldeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone 201.340.4468 · Fax 201.340.4472

SCALE: I" = 100'±

TAX & ZONING MAP

SUNSET ROAD

LOT 12

١.	THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS	
	INCLUDING, BUT NOT LIMITED TO:	
	 BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY 	
	CTONFFIELD ENGINEEDING & DECICAL DATED	

LOT 15

LOT 18

LOT 17

DE WILDE DRIVE

PROJECT SITE

(173,411 SF; 3.98 AC)

LOT 21

BLOCK 2501

LOT 14

LOT 19

BLOCK 2104

LOT 13

ARCHITECTURAL PLANS PREPARED BY GREGORY RALPH ARCHITECT, DATED 09/23/2022.

GEOLOGICAL SURVEY QUADRANGLE MAP 7.5 MINUTE, POMPTON PLAINS, NEW JERSEY, NEW JERSEY DATED

FOWNSHIP ZONING MAP, DATED APRIL, 2021 2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE

PLAN REFERENCE MATERIALS:

THIS P	LAN SET REFER	RENCES THE	FOLLO\	WING DOC	UMENTS
INCLUE	DING, BUT NOT	LIMITED TO:			
•	BOUNDARY &	TOPOGRAP	HIC SUR	VEY PREPA	ARED BY
	STONEFIELD	ENGINEERI	NG &	DESIGN,	DATED
	07/08/2022 1 AS	T DEVICED A	7/26/2022	,	

START OF CONSTRUCTION

SHEET INDEX						
DRAWING TITLE	SHEET#					
COVER SHEET	C-I					
DEMOLITION PLAN	C-2					
SITE PLAN	C-3					
GRADING PLAN	C-4					
STORMWATER MANAGEMENT PLAN	C-5					

ZONING LEGEND

ZONE

ZONE

C-9 & C-10

C-11 - C-14

				FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR COUNTY SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	DESCRIPTION
				PD	EC	PK	PK	PK	PK	ВҮ
				07/14/2023	04/06/2023	02/15/2023	12/02/2022	11/08/2022	10/17/2022	DATE
				9	2	4	٣	2	_	ISSUE
N	NOT APPROVED FOR CONSTRUCTION									

APPLICANT

PASCACK VALLEY LEARNING CENTER

POMPTON PLAINS, NEW JERSEY 07444

LOT 4

LOT 5

LOT 6

LOT 8

LOT 13

LOT 12

LOT II

BLOCK 2107

LOT 9

UTILITY PLAN

LIGHTING PLAN

LANDSCAPING PLAN

CONSTRUCTION DETAILS

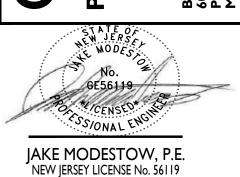
SOIL EROSION & SEDIMENT CONTROL PLAN

LOT I LOT 2 LOT 4 LOT 5

OWNER

OB

ONE



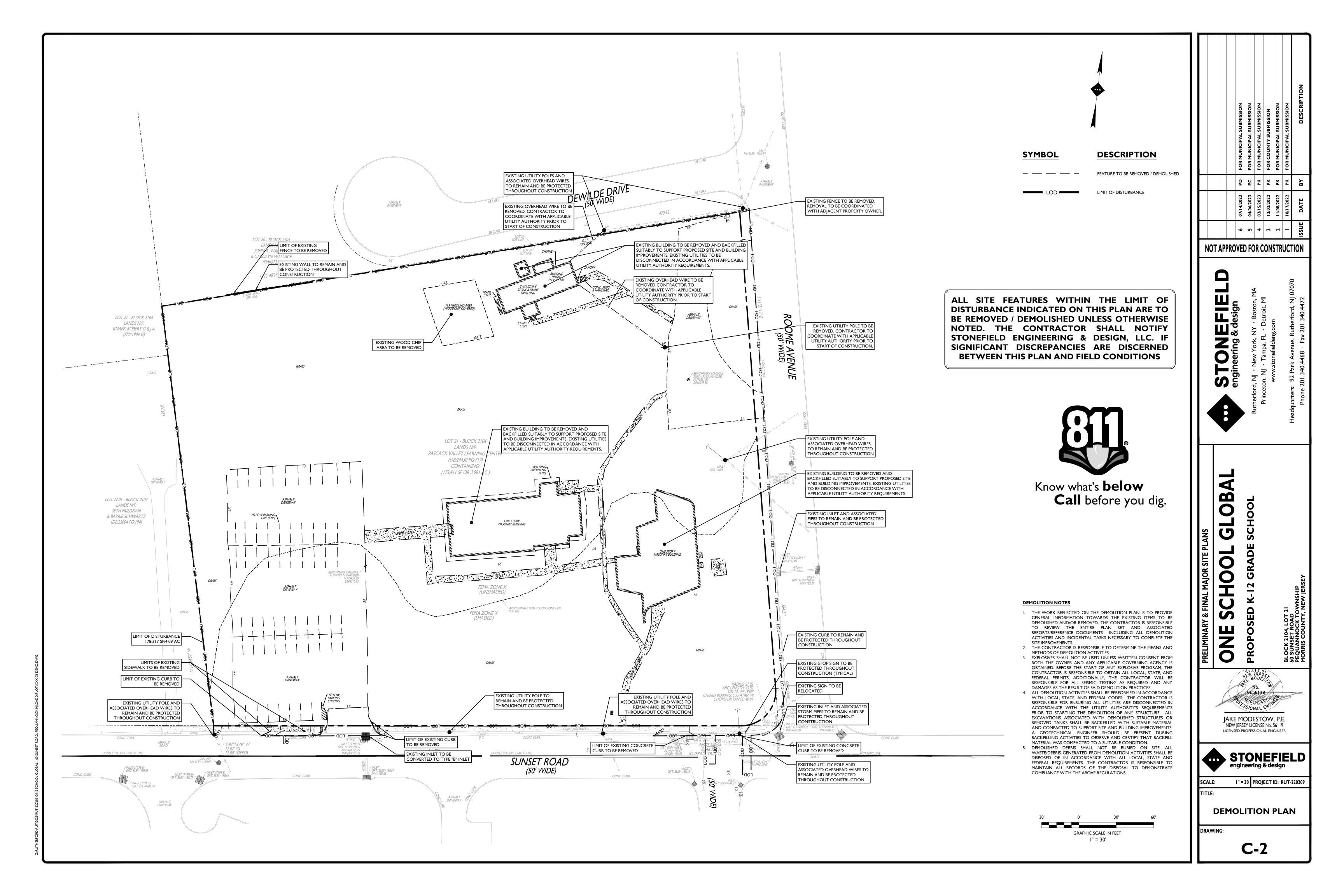


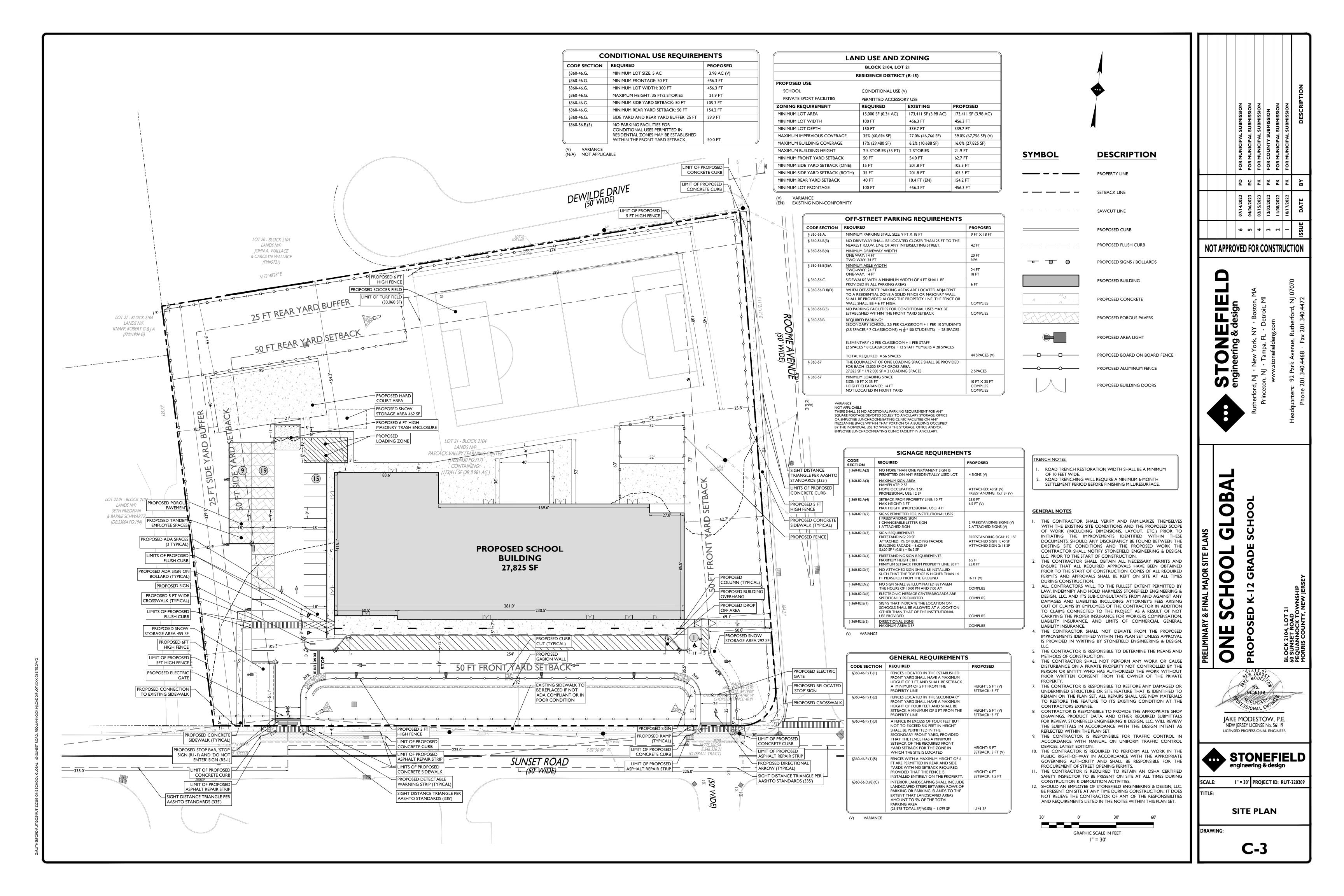
SCALE: AS SHOWN PROJECT ID: RUT-220209

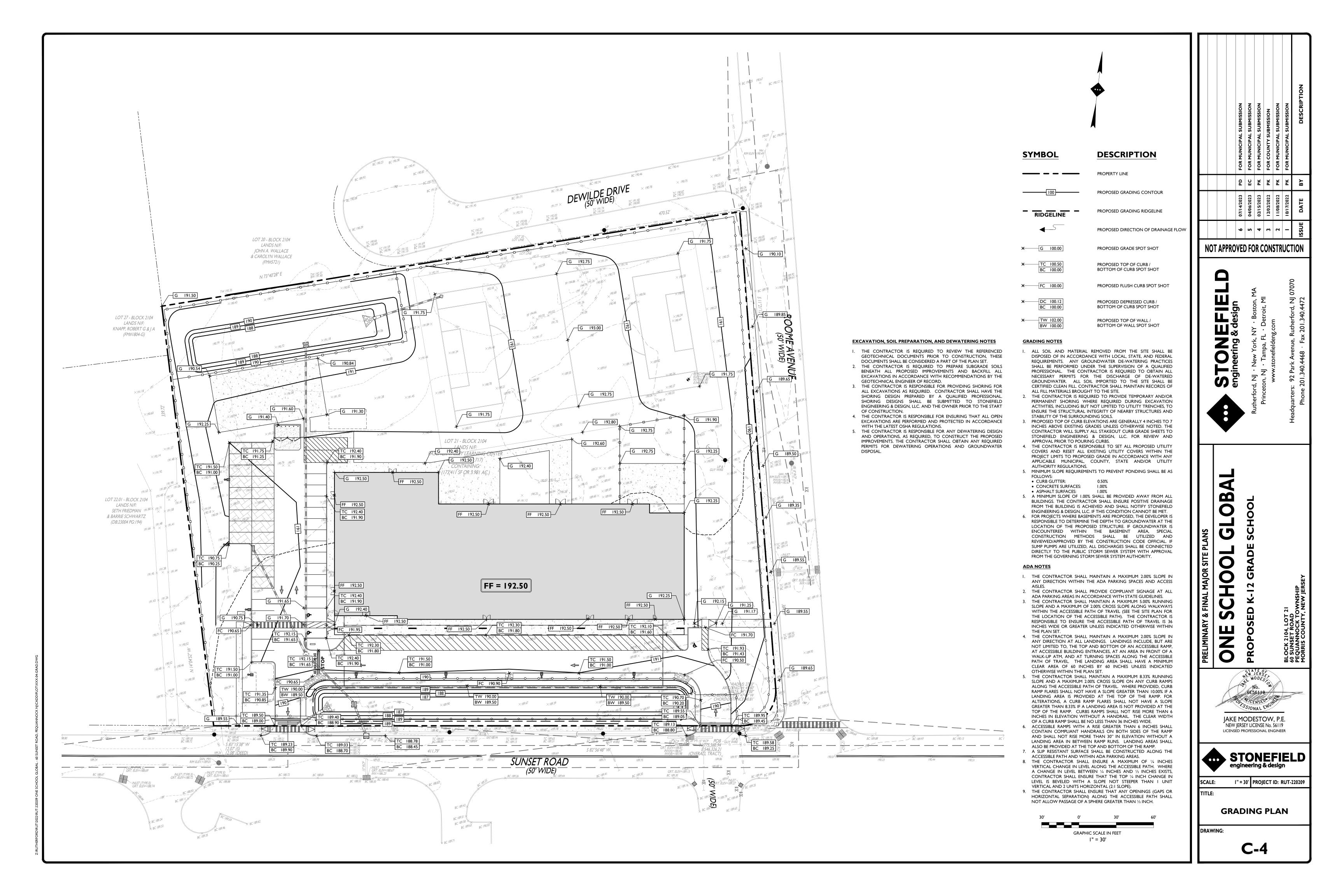
COVER SHEET

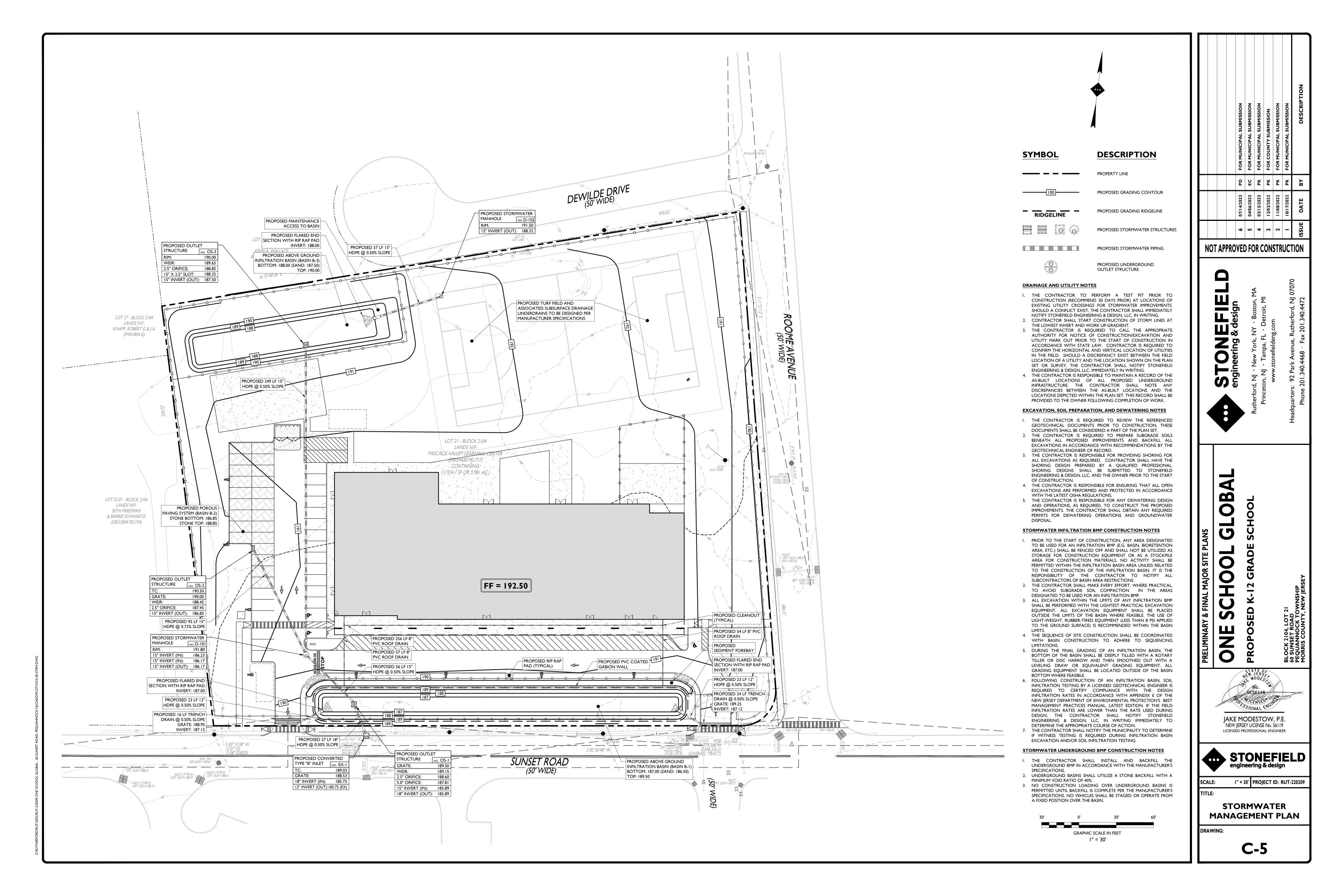
DRAWING:

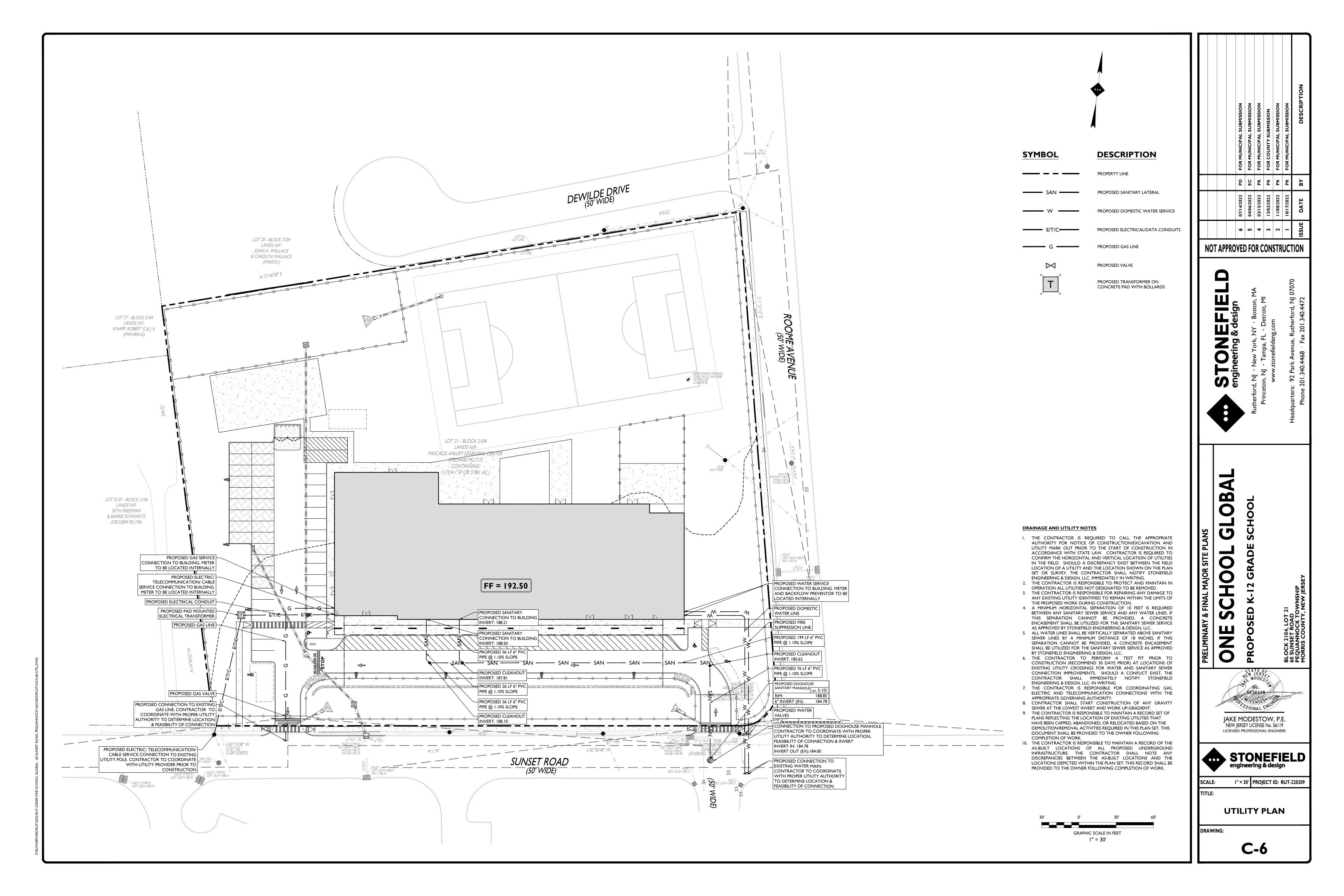
C-I

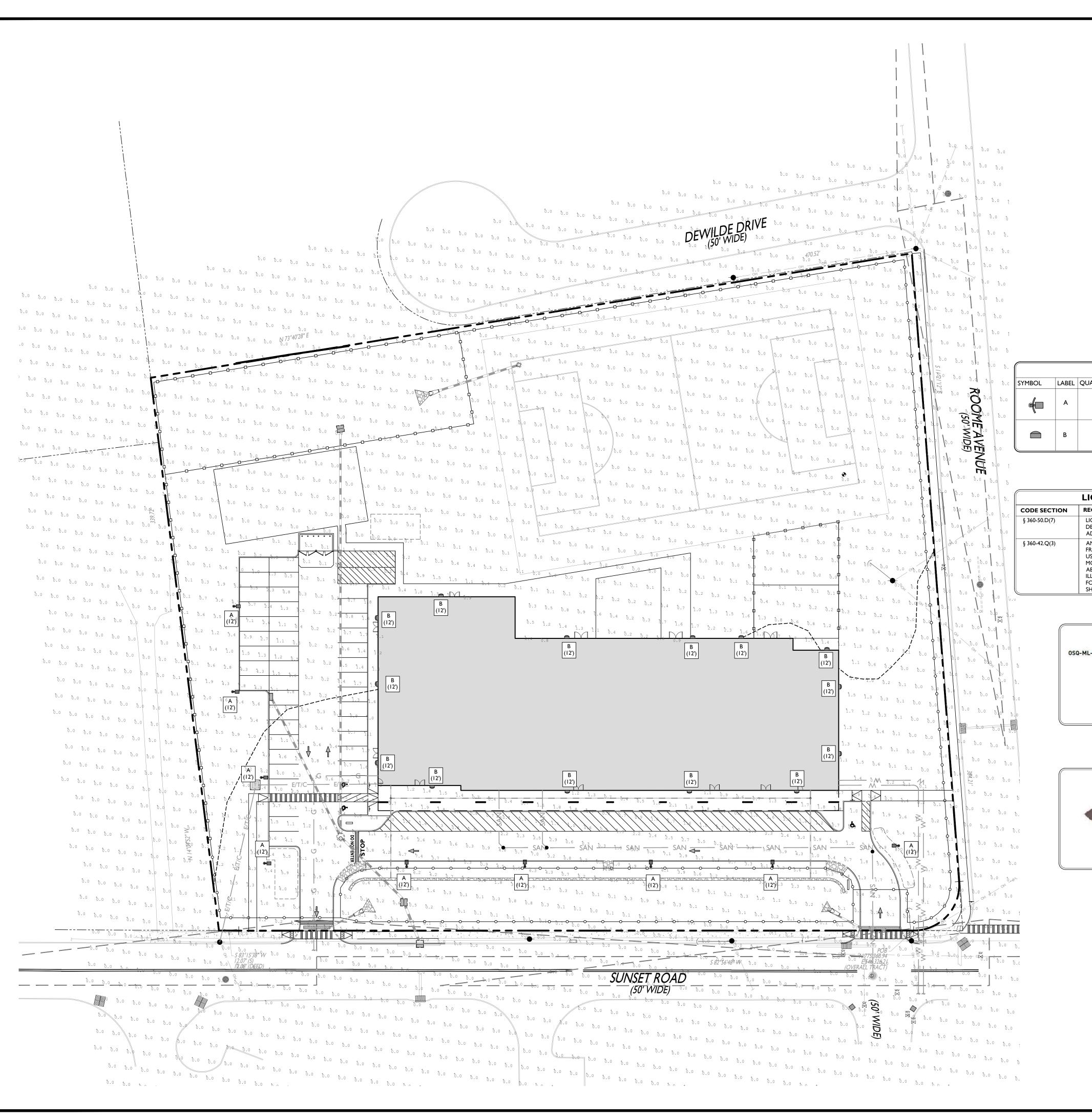














SYMBOL DESCRIPTION PROPOSED CALCULATION AREA _____ PROPOSED ISOMETRIC LINE PROPOSED LIGHTING FIXTURE A (XX') (MOUNTING HEIGHT) PROPOSED LIGHTING INTENSITY +X.X (FOOTCANDLES) PROPOSED AREA LIGHT PROPOSED BUILDING MOUNTED LIGHT

PROPOSED LUMINAIRE SCHEDULE											
MBOL LABEL QUANTITY SECURITY LIGHTING DISTRIBUTION LLF MANUFACTURER IES FILE											
	A 9		OSQ OUTDOOR LED AREA LIGHT-SINGLE W/ SHIELD	TYPE IV	0.9	CREE LIGHTING	OSQM-B-9L-40K7-4M-UX-XX-XX- Q9_CONFIGURED.IES				
	B 14		EDGE SERIES - OUTDOOR LED WALLPACK	TYPE III	0.9	CREE LIGHTING	PWY-EDG-3M02-E-UL-5 25-40K-CONFIGURED.IES				

LIGHTING REQUIREMENTS							
CODE SECTION	REQUIRED	PROPOSED					
§ 360-50.D(7)	LIGHTING SHALL BE ARRANGED TO DEFLECT AND FOCUS LIGHT AWAY FROM ADJACENT PROPERTIES.	COMPLIES					
§ 360-42.Q(3)	ANY LIGHT FURTHER THAN 100 FEET FROM PARKLAND OR RESIDENTIALLY USED OR ZONED PROPERTY SHALL BE MOUNTED NO HIGHER THAN 20 FEET ABOVE THE GROUND LEVEL, AND NO ILLUMINATION GREATER THAN 0.5 FOOTCANDLE AT THE PROPERTY LINE SHALL BE PERMITTED.	COMPLIES					



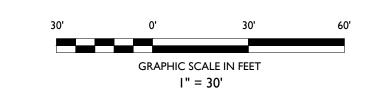
FIXTURE 'A'



FIXTURE 'B'

GENERAL LIGHTING NOTES

- I. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH ARE WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- 2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR
- LIGHTING FIXTURE MODEL. 3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS: LIGHT EMITTING DIODES (LED): 0.90 HIGH PRESSURE SODIUM:
- METAL HALIDE: 4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- 5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



			FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR COUNTY SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	DESCRIPTION
			PD	EC	PK	PK	PK	PK	ВУ
			07/14/2023	04/06/2023	02/15/2023	12/02/2022	11/08/2022	10/17/2022	DATE
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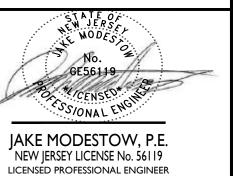


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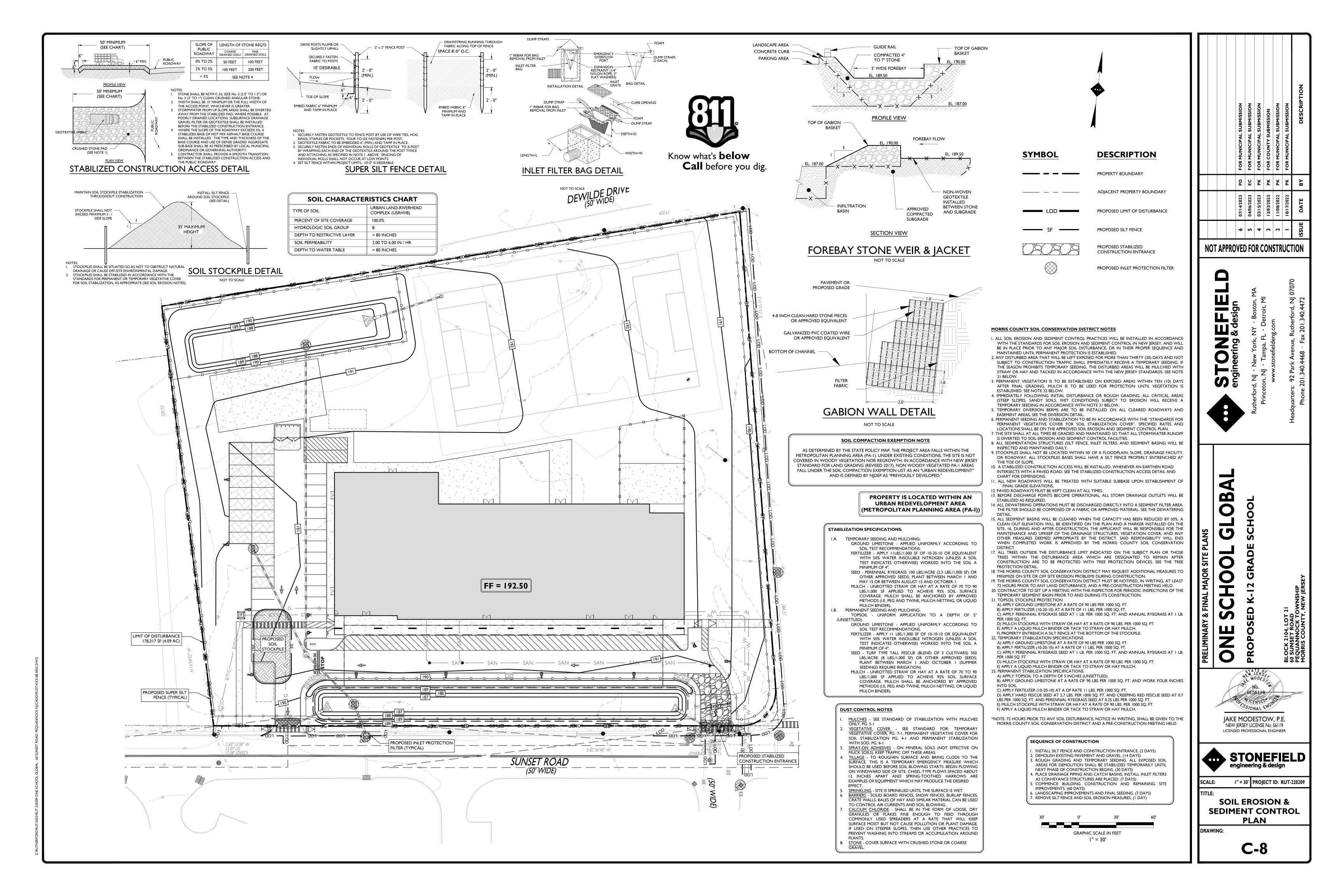
engineering & design

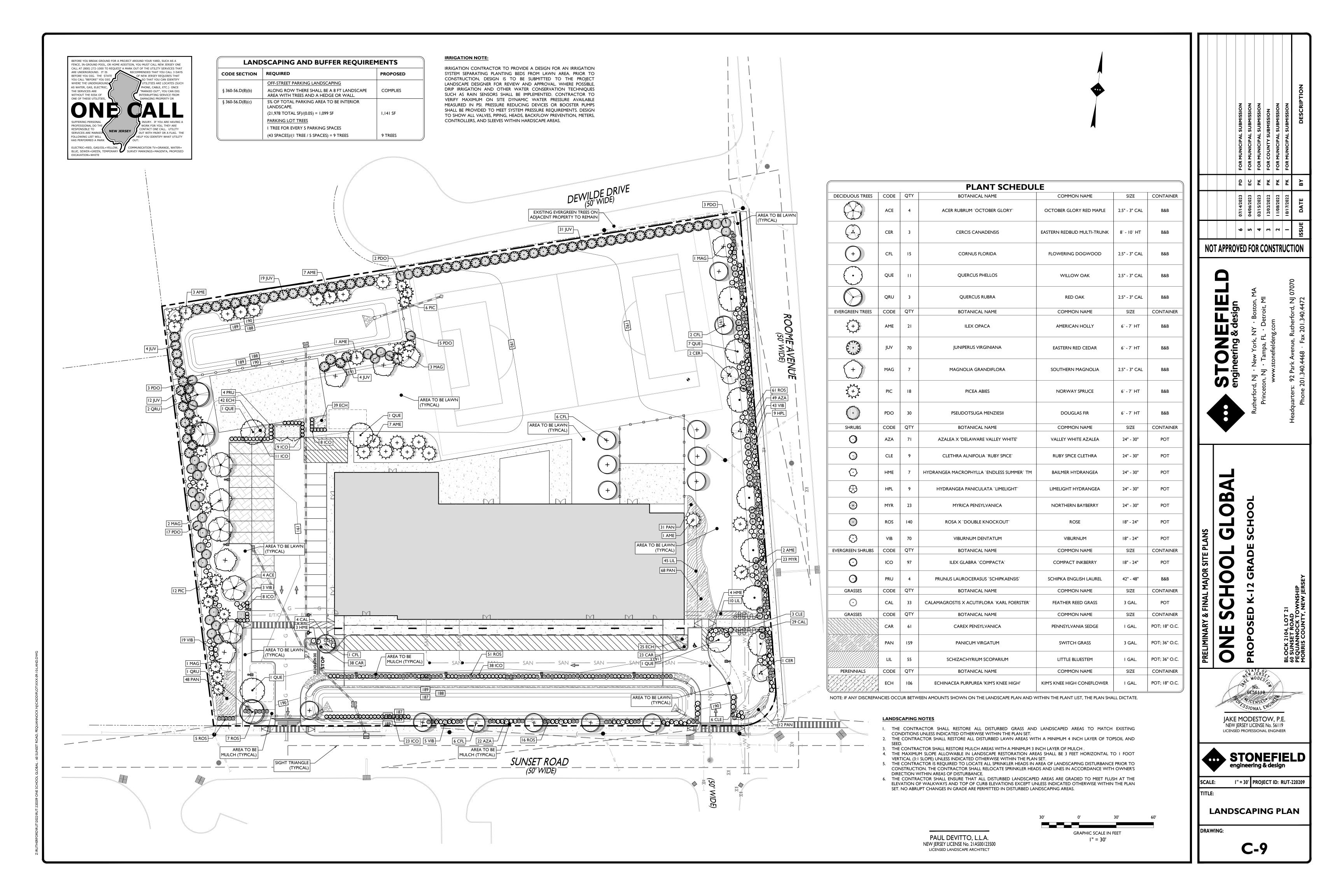
I" = 30' PROJECT ID: RUT-220209

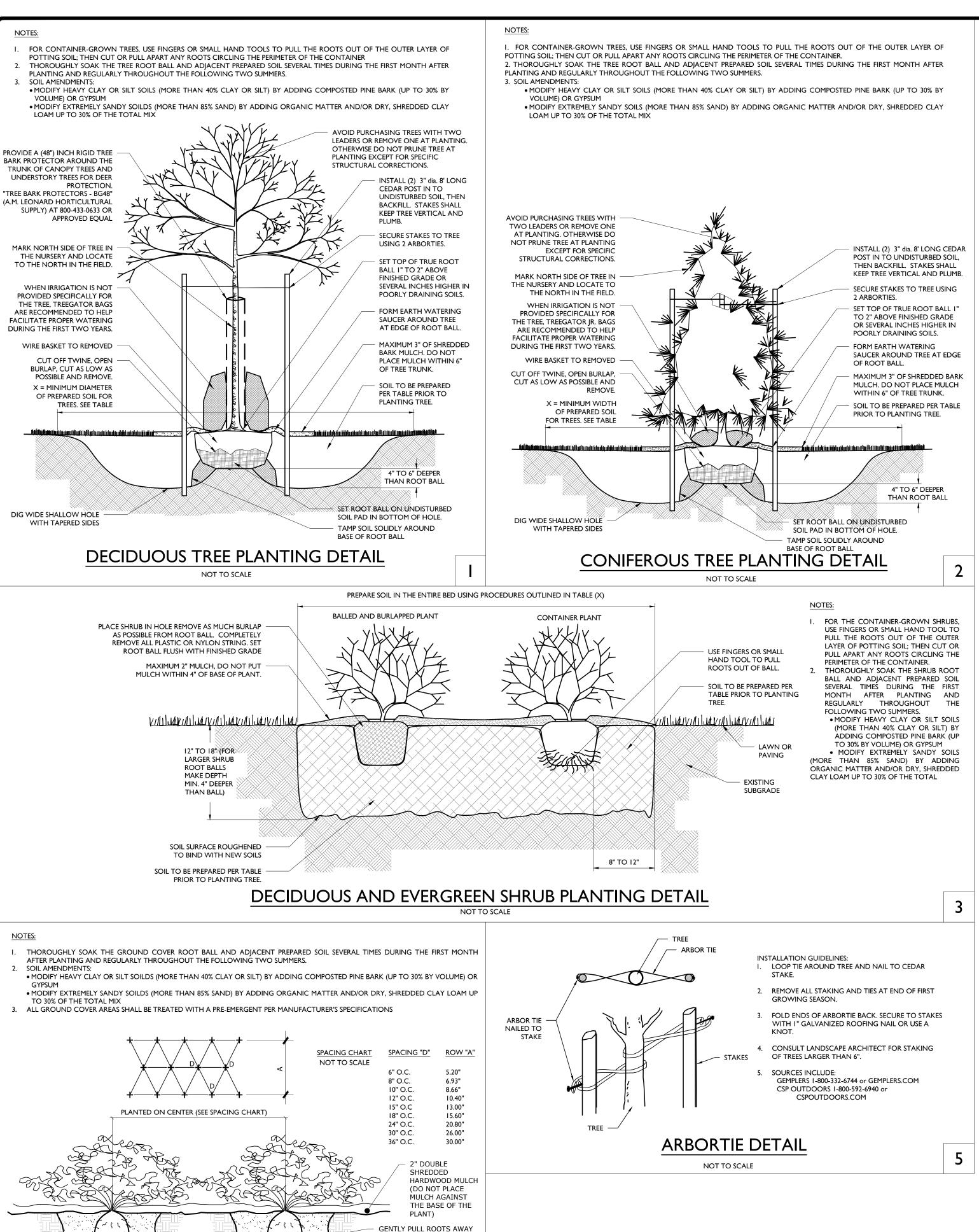
LIGHTING PLAN

DRAWING:

C-7







FROM TOPSOIL MASS WITH

1 PART SOIL AMENDMENT

(BASED ON SOIL TEST)

3 PARTS NATIVE TOPSOIL

FINGERS

GROUND COVER/PERENNIAL/ANNUAL

PLANTING DETAIL

BACKFILL SOIL

GENERAL LANDSCAPING NOTES

- SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND
- INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY. . WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE
- PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL. 3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL,
- 4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY. 5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE
- VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL 6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING

PROTECTION OF EXISTING VEGETATION NOTES

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION
- ACTIVITIES HAVE BEEN COMPLETED. IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT. 3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE
- WORK SHALL BE PERFORMED AS FOLLOWS: • TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN THE TREE ROOTS SHALL NOT BE CLIT. BLIT. THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
- RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY FARTH FILL IS PLACED. NEW FARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
- LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED. SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION. NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

- I. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS
- 2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS
- MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM. • MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM
- UP TO 30% OF THE TOTAL MIX. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS,
- ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1"). 4. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT 5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT
- THE PROJECT SITE. . CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF
- TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS. UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
- LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS REOUIRED TOPSOIL). IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN 9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE
- PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL IO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE
- II. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR. GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE
- EASILY DISPLACED BY WIND OR WATER RUNOFF 12. WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING. 13. SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE
- GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE 14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL 15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING
- MYCRO® TREE SAVER A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN
- PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA. TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING. AND SELECTED ORGANIC MICROBIAL NUTRIENTS • DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER. MIX INTO THE
- BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION. MYCOR® TREE SAVER® IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND
- SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9. FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL

MOUNTAIN LAUREL. WHICH REQUIRE ERICOID MYCORRHIZAE.

- APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION. OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL
- DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.
- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS. • TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT I TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

IRRIGATION DURING ESTABLISHMENT						
SIZE AT PLANTING	IRRIGATION FOR VITALITY	IRRIGATION FOR SURVIVAL				
< 2" CALIPER	DAILY FOR TWO WEEKS, EVERY OTHER DAY FOR TWO MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR TWO TO THREE MONTHS				
2"-4 CALIPER	DAILY FOR ONE MONTH, EVERY OTHER DAY FOR THREE MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR THREE TO FOUR MONTHS				
4 >" CALIPER	DAILY FOR SIX WEEKS, EVERY OTHER DAY FOR FIVE	TWICE WEEKLY FOR FOUR TO FIVE				

- I. AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.
- 2. WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.
- 3. WHEN IRRIGATION FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

PLANT QUALITY AND HANDLING NOTES

- I. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE I. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. 2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER
 - COMMON NAMES. 3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY.
 - ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
 - 4. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (I-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE
 - 5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY
 - TAGGED WITH THE PROPER NAME AND SIZE. 6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
 - 7. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
 - 8. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS securely fastened to the body of the vehicle to prevent iniury to the plants. Closed vehicles shall be ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS, EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE. 9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING
 - 10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS HALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
 - II. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL. 12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INIURED PLANTS SHALL BE REMOVED.
 - 13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT. 14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET
 - (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2") ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR
 - 15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS: PLANTS (MARCH 15 - DECEMBER 15)
 - LAWNS (MARCH 15 JUNE 15 OR SEPTEMBER 1 DECEMBER 1) 16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15)

ABIES CONCOLOR CORNUS VARIETIES **ACER BUERGERIANUM** CRATAEGUS VARIETIES PINUS NIGRA ACER FREEMANII CUPRESSOCYPARIS LEYLANDII PLATANUS VARIETIES ACER RUBRUM **FAGUS VARIETIES** POPULUS VARIETIES PRUNUS VARIETIES ACER SACCHARINUM HALESIA VARIETIES **PYRUS VARIETIES** BETULA VARIETIES ILEX X FOSTERII CARPINUS VARIETIES QUERCUS VARIETIES (NOT Q. PALUSTRIS) ILEX NELLIE STEVENS **CEDRUS DEODARA** ILEX OPACA SALIX WEEPING VARIETIES JUNIPERUS VIRGINIANA CELTIS VARIETIES **SORBUS VARIETIES CERCIDIPHYLLUM VARIETIES** KOELREUTERIA PANICULATA TAXODIUM VARIETIES

TAXUX B REPANDENS CERCIS CANADENSIS LIQUIDAMBAR VARIETIES **CORNUS VARIETIES** LIRIODENDRON VARIETIES TILIA TOMENTOSA VARIETIES **CRATAEGUS VARIETIES** MALUS IN LEAF ULMUS PARVIFOLIA VARIETIES NYSSA SYLVATICA ZELKOVA VARIETIES

17. IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.

18. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED. 19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION

- AS APPROVED BY THE LOCAL MUNICIPALITY. 20. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED. 21. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS IF ORIGINALI REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND
- PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION. 2. Mow all grass areas at regular intervals to keep the grass height from exceeding three inches (3"). Mowing SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE underlying turf. Mow grass areas in such a manner as to prevent clippings from blowing on paved areas,
- AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS. 23. GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL
- OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND
- 24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED. 25. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY
- MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER. 26. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT
- INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL. 27. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND

PLANT MATERIAL GUARANTEE NOTES

- the Landscape Contractor shall guarantee all plant material for a period of one year (1 yr.) from approval OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S
- I. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS. 3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
- 4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

- . SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
- . SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION." 3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEEDED OR LAID WITH SOD
- 4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION.'
- . PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS. EROSION. WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

PAUL DEVITTO, L.L.A. NEW JERSEY LICENSE No. 21AS00123500 LICENSED LANDSCAPE ARCHITECT

			FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR COUNTY SUBMISSION	FOR MUNICIPAL SUBMISSION	FOR MUNICIPAL SUBMISSION	DESCRIPTION	
			PD	EC	PK	PK	PK	PK	ВУ	
			07/14/2023	04/06/2023	02/15/2023	12/02/2022	11/08/2022	10/17/2022	DATE	
			9	2	4	3	2	-	ISSUE	
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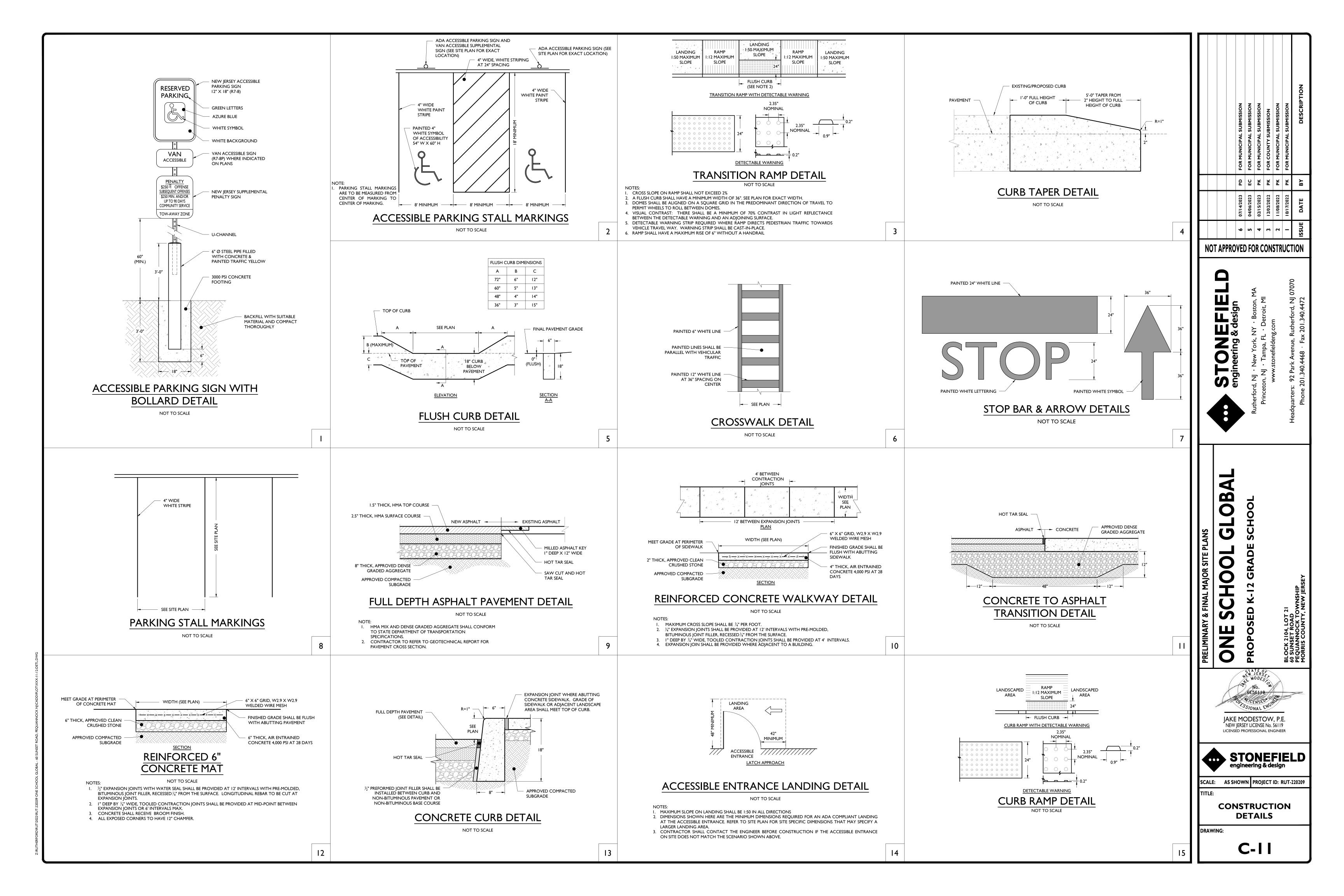
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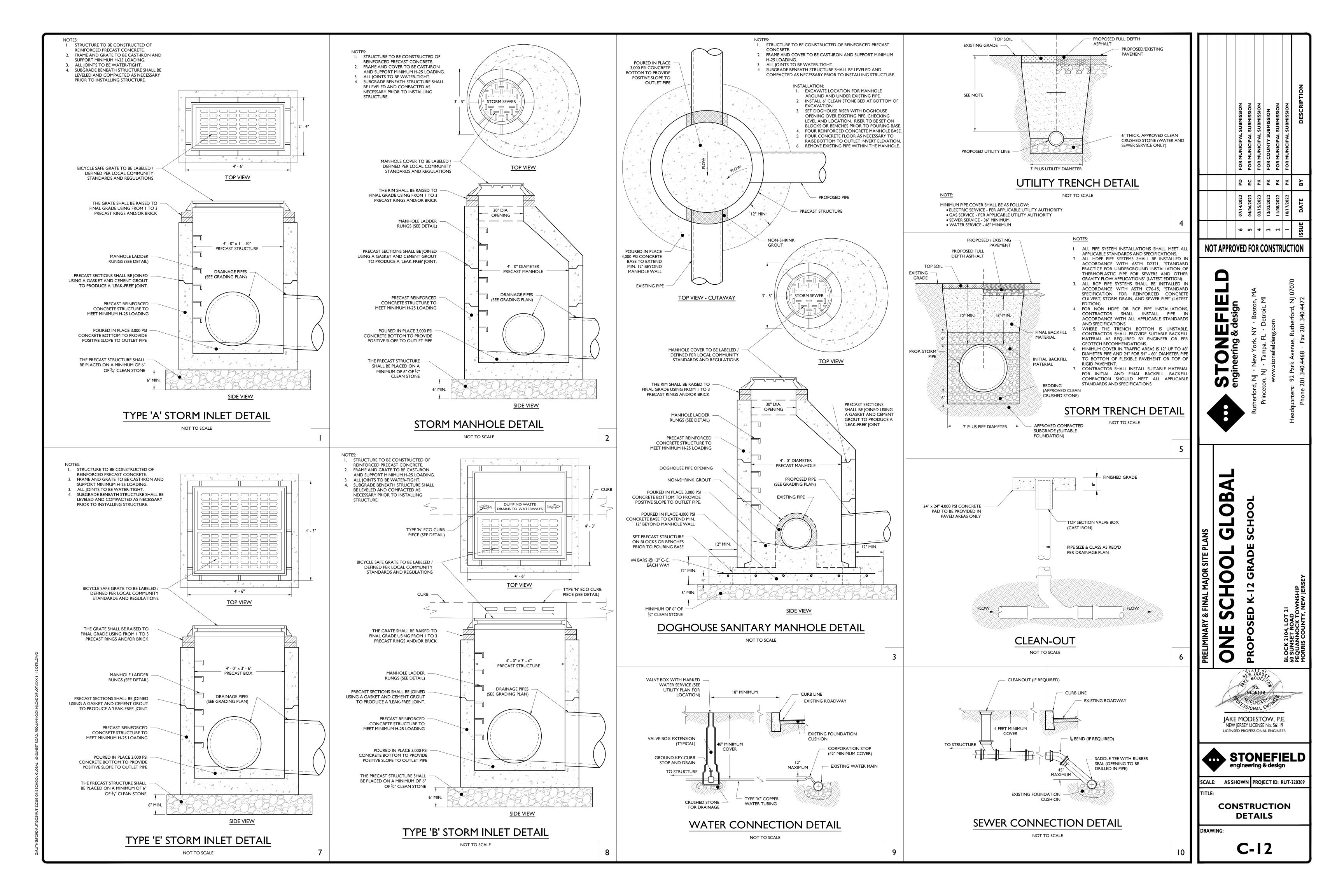


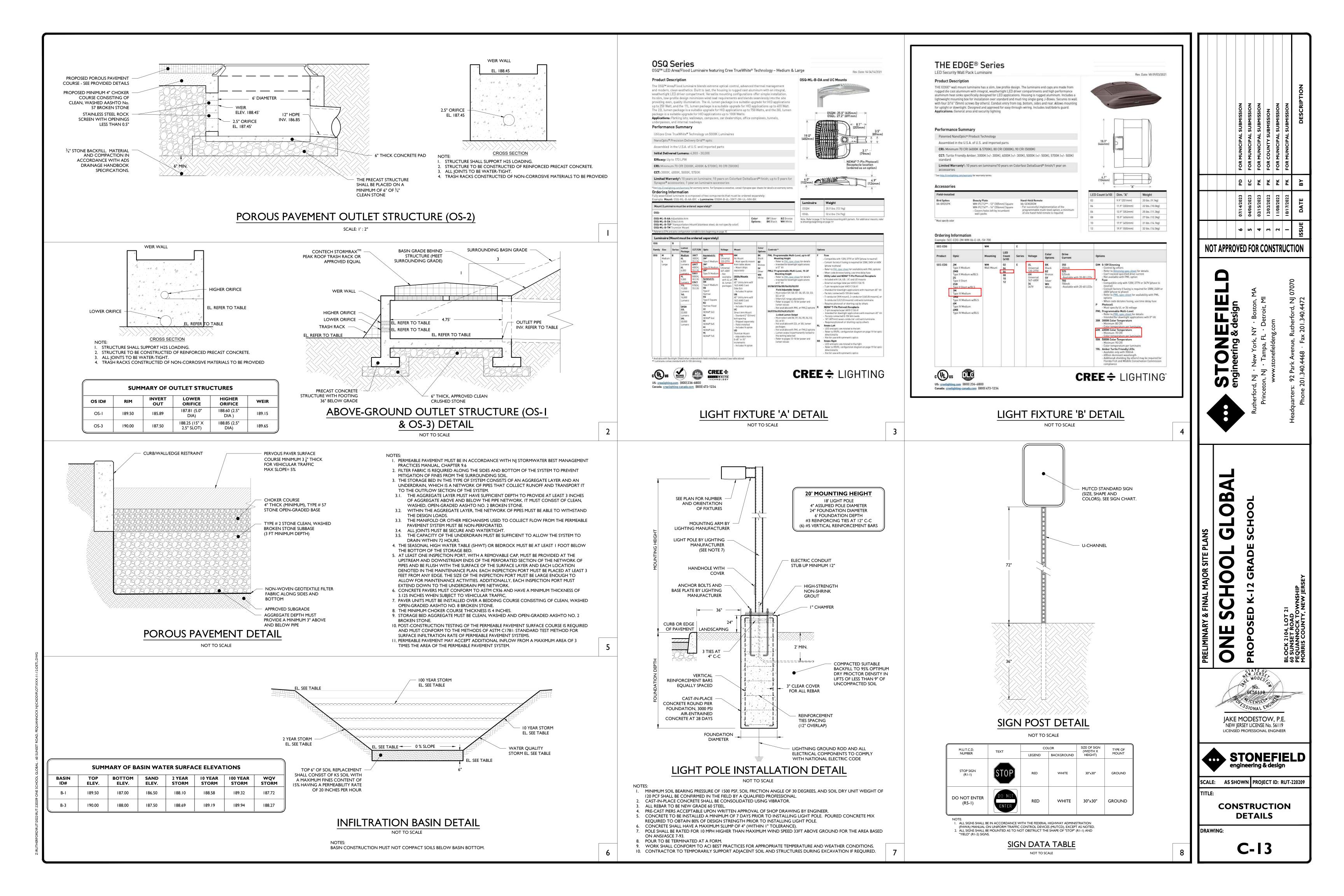
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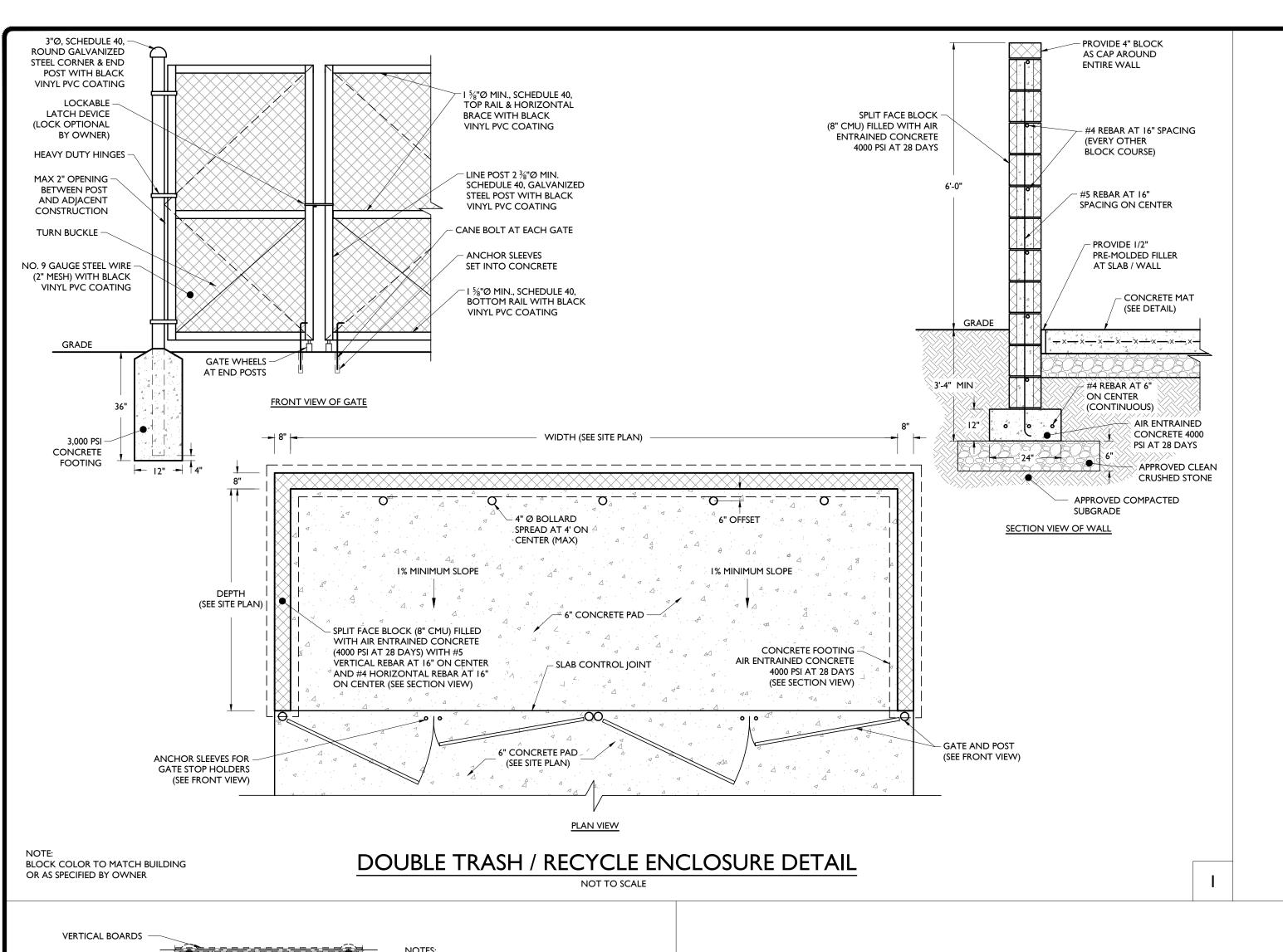
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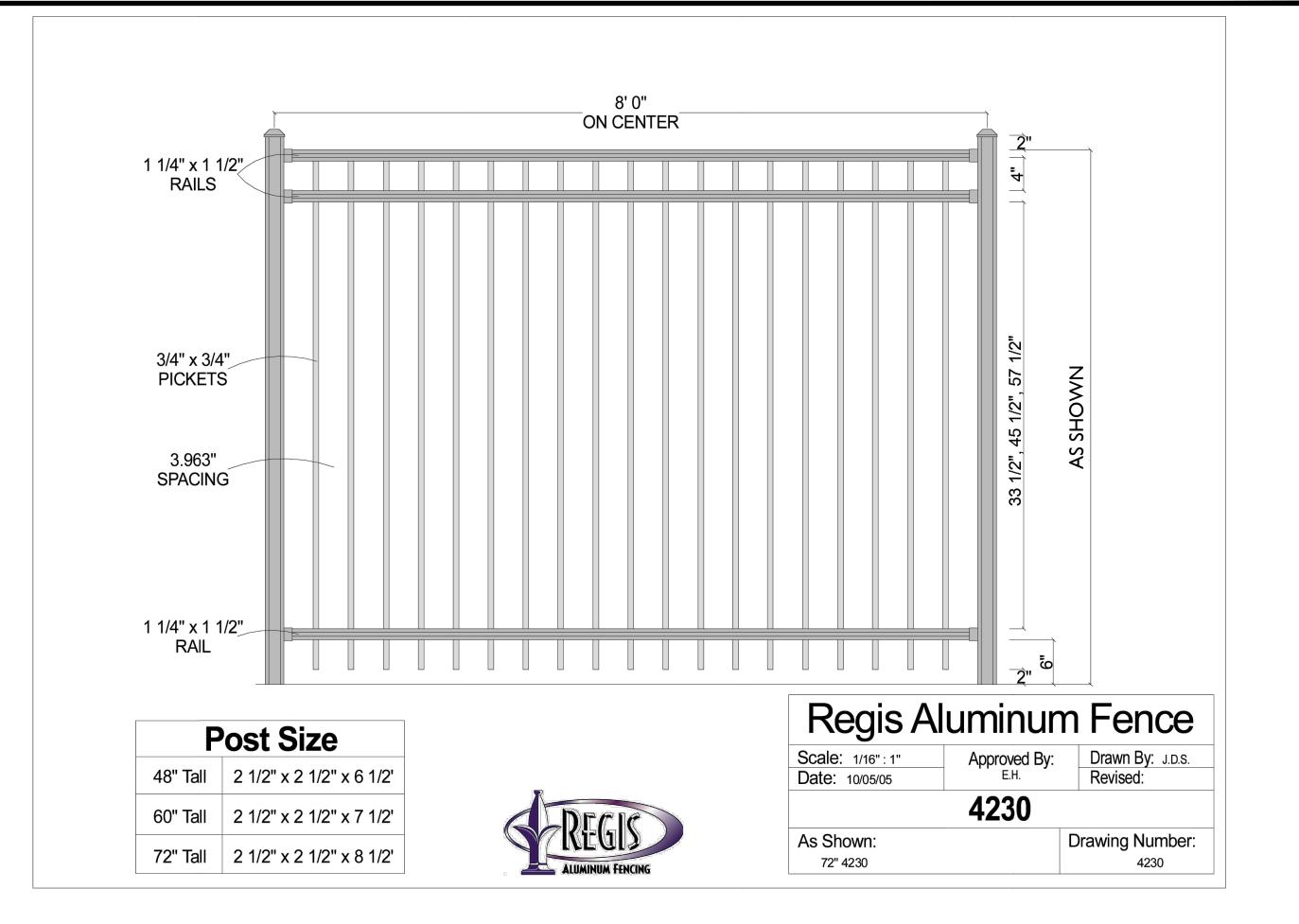
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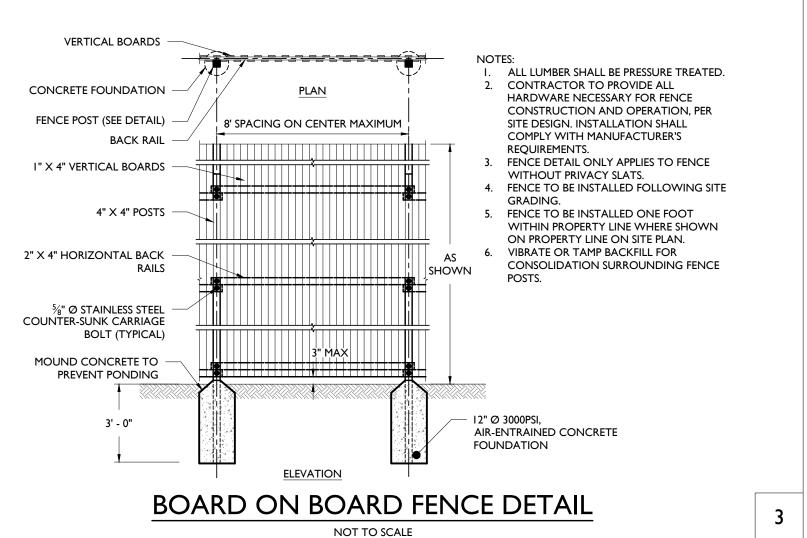












PROPOSED ALUMINUM FENCE DETAIL

PRELIMINARY & FINAL MAJOR SITE PLANS

ONE SCHOOL GLOBAL

PROPOSED K-12 GRADE SCHOOL

BLOCK 2104, LOT 21
60 SUNSET ROAD
PROMOSET ROAD
PROPOSED K-12 GRADE SCHOOL

Rutherford, N

Princeton, N

Princeto

| Marian | M

NOT APPROVED FOR CONSTRUCTION

JAKE MODESTOW, P.E.
NEW JERSEY LICENSE No. 56119
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: RUT-220209

CONSTRUCTION DETAILS

DRAWING:

C-14