

ZONING ANALYSIS

C-2 ZONE			
REQUIREMENT	REQUIRED	EXISTING	PROPOSED
LOT AREA	1 ACRE	19,003 S.F. (0.436 ACRE)(e)	19,003 S.F. (0.436 ACRE)(e)
LOT WIDTH	200 FT.	100 FT. / 193 FT. (e)	100 FT. / 193 FT. (e)
LOT FRONTAGE	50 FT.	137 FT. / 160 FT.	137 FT. / 160 FT.
FRONT YARD	50 FT. AVG. 35 FT. MIN.	46.27 FT. / 23.75 FT. (e)	46.27 FT. / 23.75 FT. (e)
SIDE YARD	NONE, 6 FT.	NONE	NONE
REAR YARD	20% DEPTH, 12 FT. MIN, 20 FT. MAX	39.21 FT. / 80.90 FT.	39.21 FT. / 80.90 FT.
BLDG. HEIGHT	2 ST. / 30 FT.	1 ST.	2 ST. / 28.25 FT.
BUILDING COVER	30% MAX.	2,400 S.F. (12.6%)	2,400 S.F. (12.6%)
IMPERVIOUS COVER	90% MAX.	13,962 S.F. (73.5%)	15,316 S.F. (80.6%)
PARKING	RETAIL: 1 / 200 G.S.F. 4,800 S.F. 24 SPACES		24
LOADING SPACE			1

(e) EXISTING NON CONFORMITY
(c) C-VARIANCE
(d) D-VARIANCE
(w) DESIGN WAIVER

OTHER VARIANCES
NONE

WAIVER
WAIVER REQUESTED FOR PROVIDING UTILITIES IWITHIN 200 FEET OF SITE

SIGNATURES

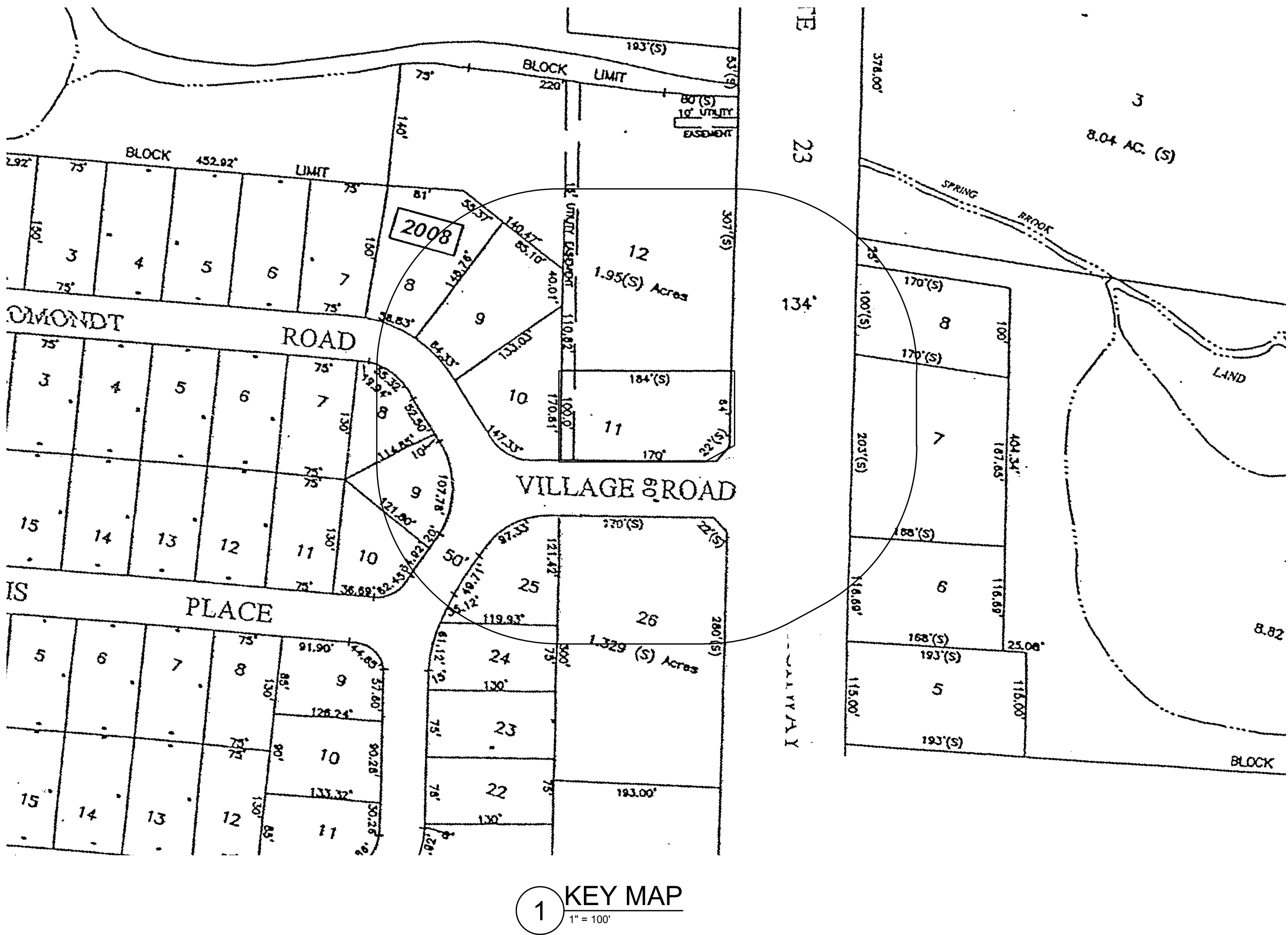
THIS SITE PLAN HAS BEEN APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF PEQUANNOCK

CHAIRMAN	DATE
SECRETARY	DATE
TOWN ENGINEER	DATE

NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION PER SURVEY ENTITLED, " BOUNDARY AND TOPOGRAPHIC SURVEY FOR BLOCK 2008, LOT 11, PEQUANNOCK TOWNSHIP, MORRIS COUNTY, NEW JERSEY", PREPARED BY WEED LAND SURVEYING, DATED APRIL 28, 2017.
- UTILITIES ARE SHOWN BASED ON MARKOUT, SURFACE EVIDENCE AND RECORD MAPS ONLY AND LOCATION MUST BE VERIFIED IN THE FIELD. CONTRACTOR SHALL CALL FOR MARKOUTS BEFORE DIGGING.
- ELEVATIONS SHOWN ON THIS PLAN ARE IN N.G.V.D 1929 DATUM.
- THE SITE IS LOCATED IN AN AE FLOOD ZONE PER FEMA FLOOD INSURANCE RATE MAP 345311 0003 C. BASE FLOOD ELEVATION (BFE) = 185.2 N.G.V.D. 29.
- THE NJDEP DETAILED STUDY (METHOD 1) FOR THE POMPTON RIVER ESTABLISHED THE FLOOD HAZARD AREA AT ELEV. 187.5 N.G.V.D. 29.
- THE PROPOSED PROJECT INCLUDES THE CONSTRUCTION OF A NON-SUBSTANTIAL ADDITION TO AN EXISTING COMMERCIAL BUILDING (FLOOD DESIGN CLASS 2).
- THE PROPOSED ADDITION IS PERMITTED UNDER PERMIT BY RULE #12.
- THE PROJECT WILL INCREASE THE IMPERVIOUS COVER ON THE SITE BY 828 SQUARE FEET. THE TOTAL DISTURBANCE IS LESS THAN 1 ACRE, THEREFORE, THIS PROJECT IS NOT A MAJOR DEVELOPMENT.

SITE PLAN
421 ROUTE 23 SOUTH
BLOCK 2008, LOT 11
TOWNSHIP OF PEQUANNOCK
MORRIS COUNTY, NEW JERSEY



200' PROPERTY OWNER'S LIST

BLOCK	LOT	OWNER	ADDRESS 1
2007	3	DORSO REALY GROUP, LLC	229 MAIN ST. BELLEVILLE, NJ 07109
2007	4	AQUA PROPERTIES, LLC	410 ROUTE 23 NORTH POMPTON PLAINS, NJ 07444
2007	6	AQUA PROPERTIES, LLC	410 ROUTE 23 NORTH POMPTON PLAINS, NJ 07444
2007	7	AQUA PROPERTIES, LLC	410 ROUTE 23 NORTH POMPTON PLAINS, NJ 07444
2007	8	PATANIA, BONNIE	22 STALTER DR WAYNE, NJ 07470
2008	10	ZULALI, SANJEE / MIGJEN	2 ROMONDT RD POMPTON PLAINS, NJ 07444
2008	12	SCOTT CENTER, LLC	693 RUOTE 23 SOUTH POMPTON PLAINS, NJ 07444
2008	8	OSTROSKI, ANDREW E	6 ROMONDT RD POMPTON PLAINS, NJ 07444
2008	9	RANCH HOUSE, INC	411 ROUTE 23 POMPTON PLAINS, NJ 07444
2304	10	ALLAHAM, JAVID	97 VILLAGE ROAD POMPTON PLAINS, NJ 07444
2304	8	GUAGLIARDI, DEENA ANN & NATE	5 ROMONDT RD POMPTON PLAINS, NJ 07444
2304	9	IALEGGIO, NICHOLAS	99 VILLAGE ROAD POMPTON PLAINS, NJ 0744
2306	24	PITHOS, LLC	411 ROUTE 23, SOUTH POMPTON PLAINS, NJ 07444
2306	25	PEQUANNOCK TOWNSHIP	530 TURNPIKE POMPTON PLAINS, NJ 07444
2306	26	RANCH HOUSE REALTY	411 ROUTE 23 POMPTON PLAINS, NJ 07444

PUBLIC UTILITY COMPANIES

WATER SUPPLY
TOWNSHIP OF PEQUANNOCK - WATER DEPARTMENT
530 NEWARK POMPTON TURNPIKE
POMPTON PLAINS, NJ 07444
PHONE: (973) 835-5700 EXT. 190

CITY OF NEWARK
DIVISION OF WATER UTILITY
239 CENTRAL AVENUE
NEWARK, NJ 07103
PHONE: (973) 733-6303

PASSAIC VALLEY WATER COMMISSION & NORTH JERSEY WATER DISTRICT
1525 MAIN AVENUE
CLIFTON, NJ 07011
PHONE: (973) 340-4320

SANITARY SEWERS
TOWNSHIP OF PEQUANNOCK - SEWER DEPARTMENT
530 NEWARK POMPTON TURNPIKE
POMPTON PLAINS, NJ 07444
(973) 835-5700 EXT 190

LINCOLN PARK, FAIRFIELD & PEQUANNOCK SEWAGE AUTHORITY (TBSA)
PO BOX 188
LINCOLN PARK, NJ 07035
(973) 696-4494

COUNTY OF MORRIS
ENGINEERING DEPARTMENT
COURTHOUSE
MORRISTOWN, NJ 07960
(201) 285-6759

NATURAL GAS
PUBLIC SERVICE ELECTRIC & GAS COMPANY
20 VAN VOOREN DRIVE
OAKLAND, NJ 07436
(201) 337-2521

SPECTRA ENERGY (FORMERLY DUKE ENERGY)
501 COOLIDGE STREET
SOUTH PLAINFIELD, NJ 07080
(908) 757-1215

ELECTRIC
JERSEY CENTRAL POWER & LIGHT
300 MADISON AVENUE
PO BOX 911
MORRISTOWN, NJ 07960
(973) 401-8143

TELEPHONE
VERIZON
290 W. MT. PLEASANT AVENUE
BLDG. 4, GROUND FLOOR
LIVINGSTON, NJ 07039
(973) 422-5141

CABLE TELEVISION
CABLEVISION OF NEW JERSEY
159 WINDERMERE AVENUE
GREENWOOD LAKE, NY 10925
(845) 595-6819

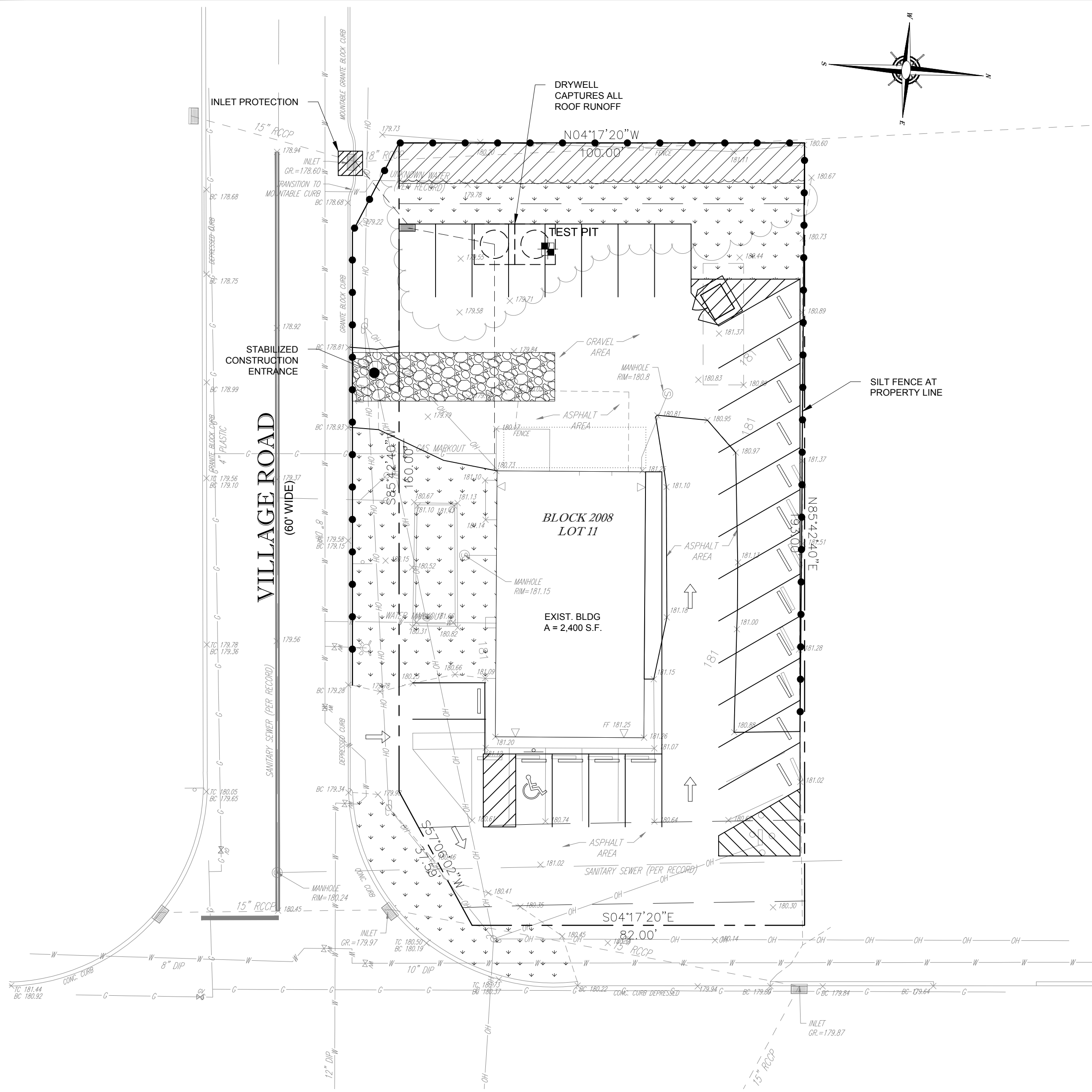
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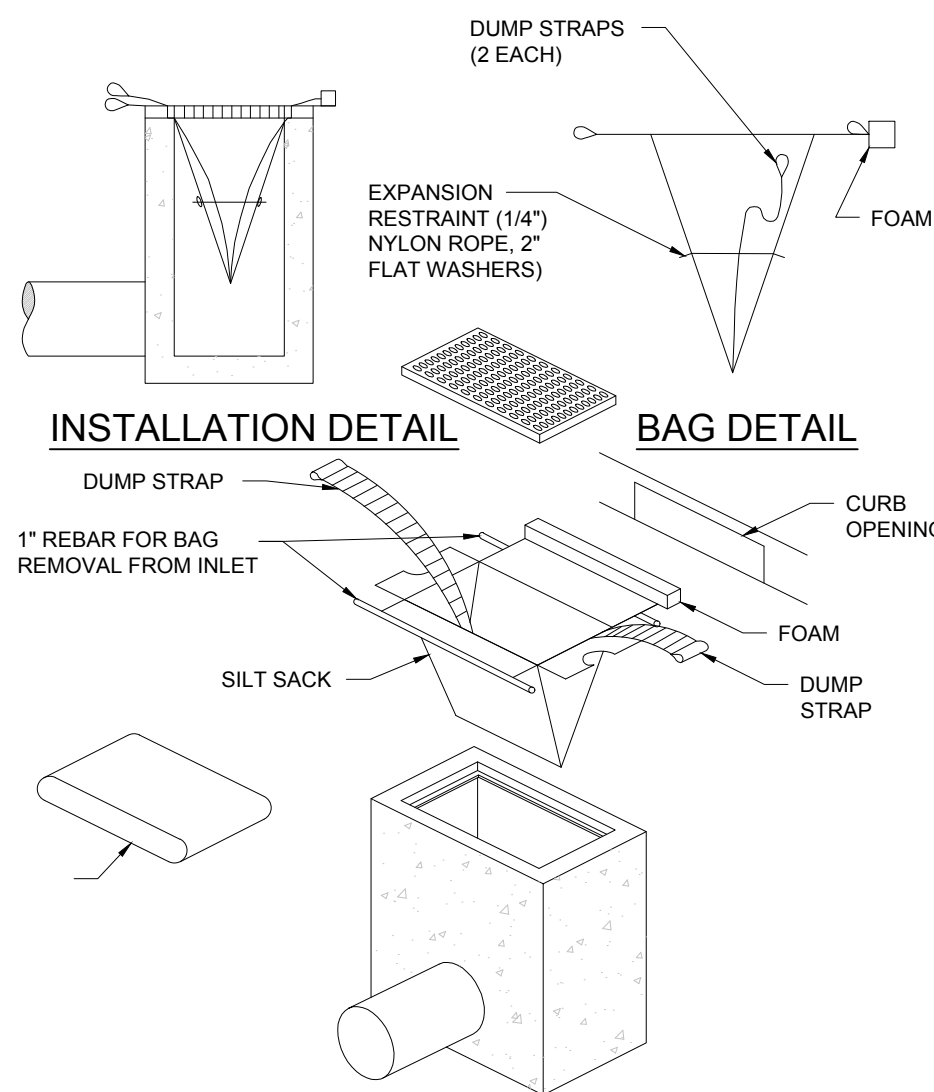
421 ROUTE 23			
BLOCK 2008		LOT 11	
PEQUANNOCK TOWNSHIP		MORRIS COUNTY	
NEW JERSEY			
COVER SHEET		C-001	
Derosier Engineering, LLC 35 Gates Avenue, Warren, NJ 07059 Tel. (201) 993-0665		Drawn By:	Check By:
		J.A.D.	J.A.D.
		Project:	16029
		Date:	6/29/2018
		Scale:	AS NOTED
Jeffrey A. Derosier, P.E. NJ PROFESSIONAL ENGINEER NO. 24GE0484600		Sheet #:	X of X



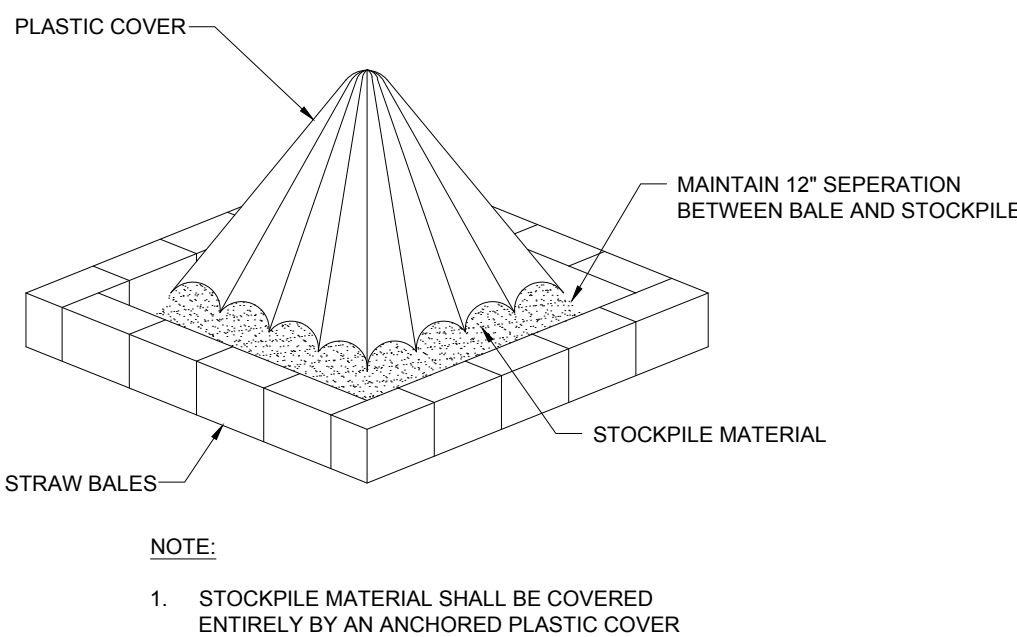
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1 SOIL EROSION & SEDIMENT CONTROL PLAN
1" = 20'



4 INLET PROTECTION DETAIL
NOT TO SCALE



5 SOIL STOCKPILE PROTECTION DETAIL
NOT TO SCALE

DUST CONTROL NOTES

1. AS PER THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, JULY 1999. THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES - SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1)

VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER (PG. 7-1), PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION WITH SOD (PG. 6-1)

SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS) KEEP TRAFFIC OFF THESE AREAS

TABLE 16-1: DUST CONTROL MATERIALS

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY (GAL/ACRE)
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON	MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARDS (PG. 26-1) APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS		
POLYACRYLAMIDE (PAM) - DRY SPRAY			
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1,200

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF TCH SITE. CHISEL-TYPE PLOWS SPACE ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET

BARRIERS - SOLID BOARD FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

SOIL EROSION & SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY", AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF SEASON PROHIBITS A TEMPORARY SEEDING, THE DISTURBED AREA SHALL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAY AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER". SPECIFIED RATES AND LOCATIONS SHALL BE SHOWN ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SITE SHALL AT ALL TIMES BE MAINTAINED SO THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50 FEET OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT TOE OF SLOPE.
- A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- ALL DEWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY TO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
- ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN THE COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
- ALL TREES OUTSIDE THE DISTURBANCE LIMIT ON THE SUBJECT PLANS OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. PROVIDE TREE PROTECTION AT DRIP LINE OR A MIN. OF 10 FEET FROM TRUNK.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
- CONTRACTOR TO SET UP A MEETING WITH THE INSPECTOR FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING CONSTRUCTION.
- TOP SOIL STOCKPILE PROTECTION
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1,000 SQ. FT.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1,000 SQ. FT.
 - APPLY PERENNIAL RYEGRASS SEED AT 1 LB PER 1,000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB PER 1,000 SQ. FT.
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1,000 SQ. FT.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
 - PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE
- TEMPORARY STABILIZATION SPECIFICATIONS
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1,000 SQ. FT.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1,000 SQ. FT.
 - APPLY PERENNIAL RYEGRASS SEED AT 1 LB PER 1,000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB PER 1,000 SQ. FT.
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1,000 SQ. FT.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH
- PERMANENT STABILIZATION SPECIFICATIONS
 - APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED).
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1,000 SQ. FT.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1,000 SQ. FT.
 - APPLY HARD FESCUE SEED AT 2.7 LBS PER 1,000 SQ. FT. AND CREEPING RED FESCUE SEED AT 0.7 LB PER 1,000 SQ. FT. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS PER 1,000 SQ. FT.
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1,000 SQ. FT.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH

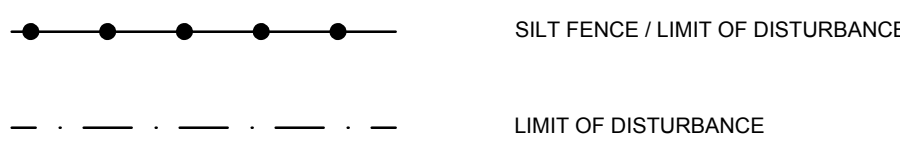
SOIL DE-COMPACTION AND TESTING REQUIREMENTS

- SITE IS LOCATED IN A METROPOLITAN PLANNING AREA 1 AND IS EXEMPT FROM SOIL DE-COMPACTION REQUIREMENTS.

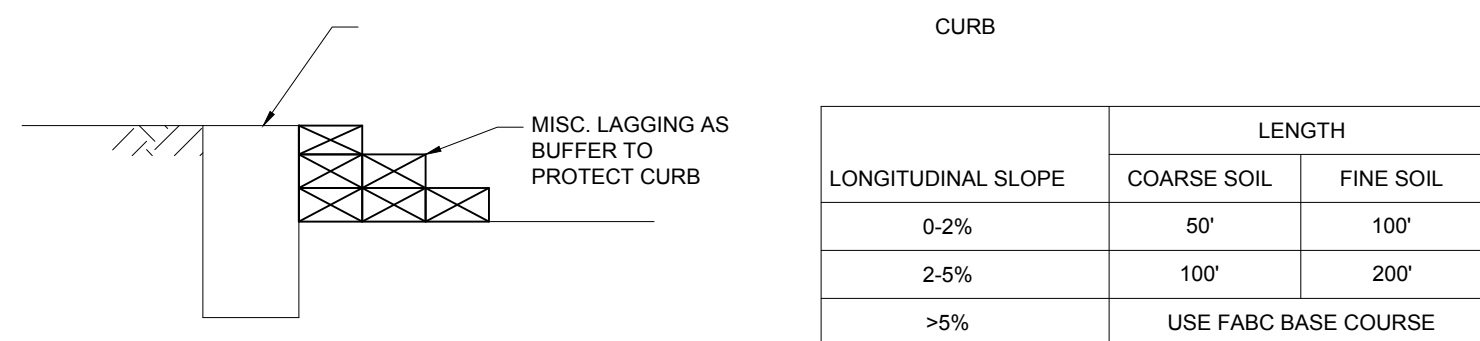
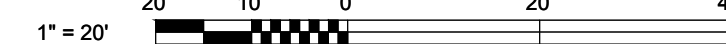
SEQUENCE OF CONSTRUCTION

- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. 0 DAYS
- INSTALL SILT FENCING, STABILIZED CONSTRUCTION ENTRANCE AND INLET PROTECTION WHERE REQUIRED. 2 DAYS
- CLEAR AND ROUGH GRADE THE SITE. 3 WEEK
- EXCAVATE AND CONSTRUCT FOUNDATION. 4 WEEKS
- BACKFILL EXCAVATIONS. 2 DAYS
- CONSTRUCT BUILDING AND SITE IMPROVEMENTS. 12 WEEKS
- REMOVE SOIL EROSION AND SEDIMENT CONTROL MEASURES. 2 DAYS

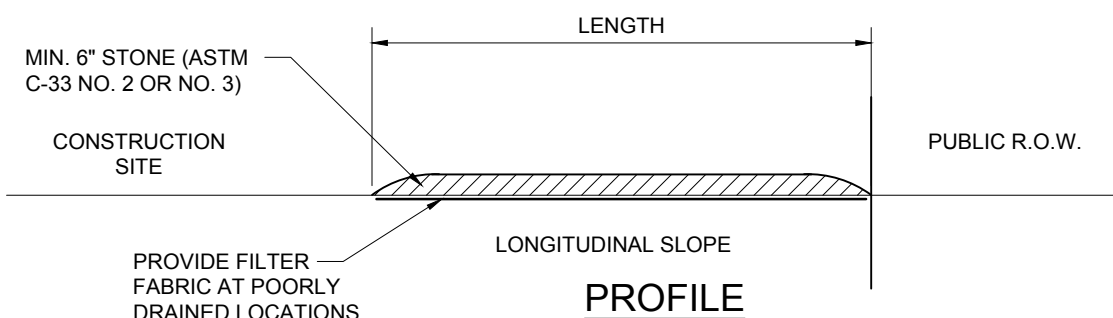
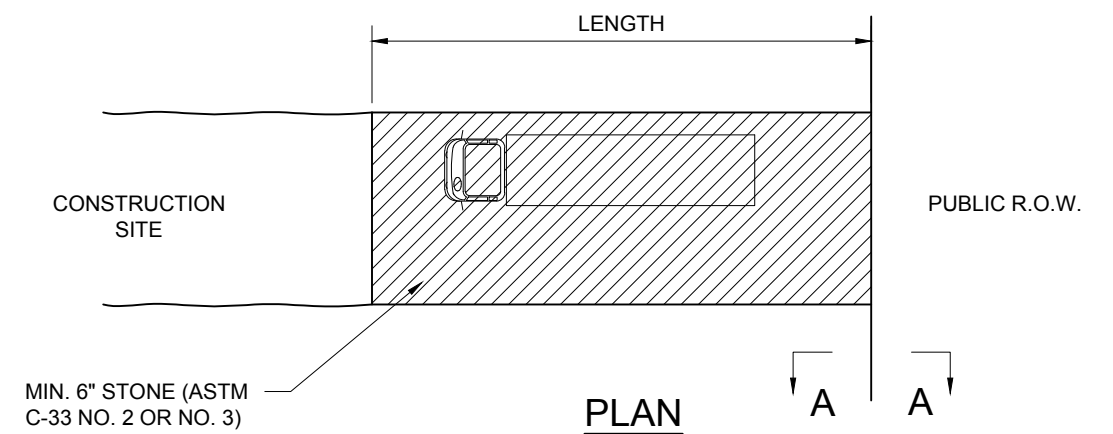
LEGEND



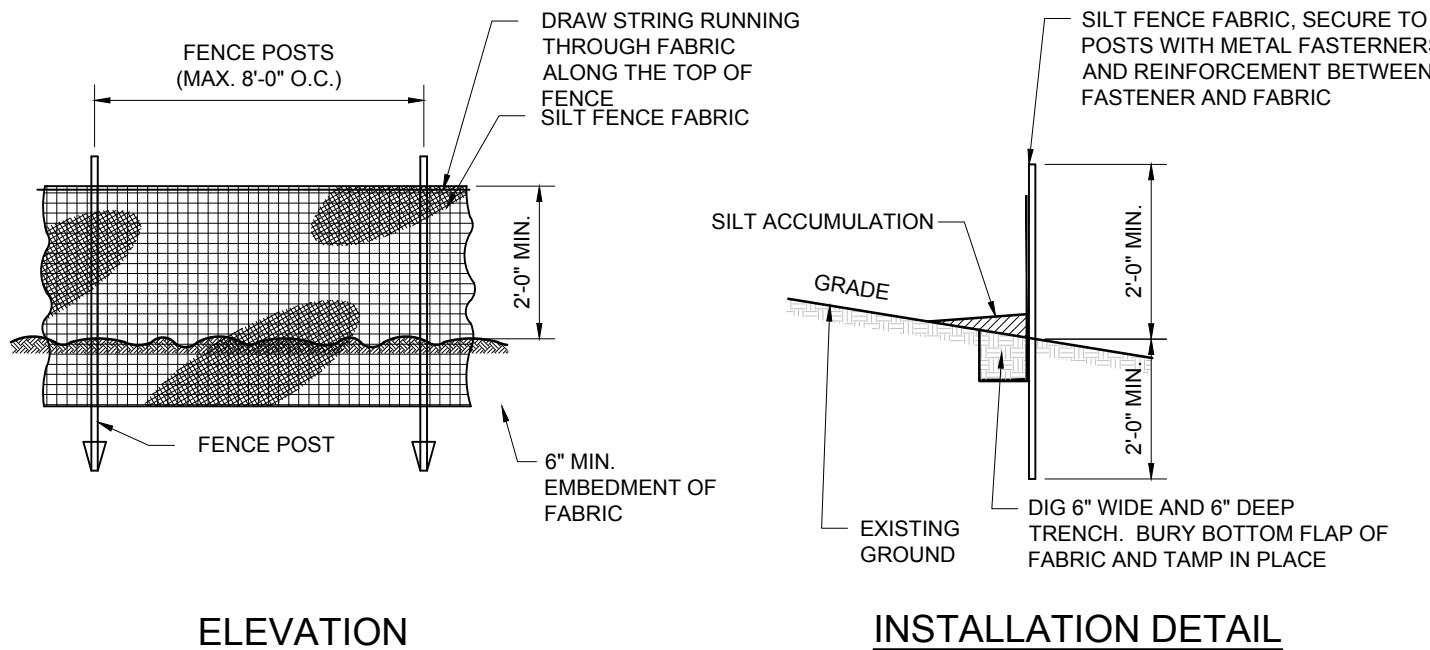
GRAPHIC SCALES



SECTION A-A



2 STABILIZED CONSTRUCTION ENTRANCE DETAIL NOT TO SCALE



3 SILT FENCE DETAIL NOT TO SCALE

- MATERIALS**
- SILT FENCE CLOTH: FILTER X, POLY-FILTER X, MRFI 100X, LAUREL EROSION CONTROL CLOTH, BIDIM OR APPROVED EQUAL (SUN RESISTANT)
 - POST: 2" HARDWOOD OR 1" OF 10" TYPE STEEL (WEIGHING NOT LESS THAN 1.33 POUNDS PER LINEAR FOOT)

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9/11/2018	PER TOWNSHIP COMMENT LETTER DATED 8/16/2018	J.A.D.	J.A.D.
8/13/2018	PER MSCSD COMMENTS DATED 8/8/2018	J.A.D.	J.A.D.
Date	Revision	Drawn By	Checked By

421 ROUTE 23

BLOCK 008 LOT 11
PEQUANNOCK TOWNSHIP MORRIS COUNTY NEW JERSEY

SOIL EROSION & SEDIMENT CONTROL PLAN

C-102

Derosier Engineering, LLC
35 Gates Avenue, Warren, NJ 07059
Tel. (201) 993.0665

Drawn By: J.A.D. Check By: J.A.D.

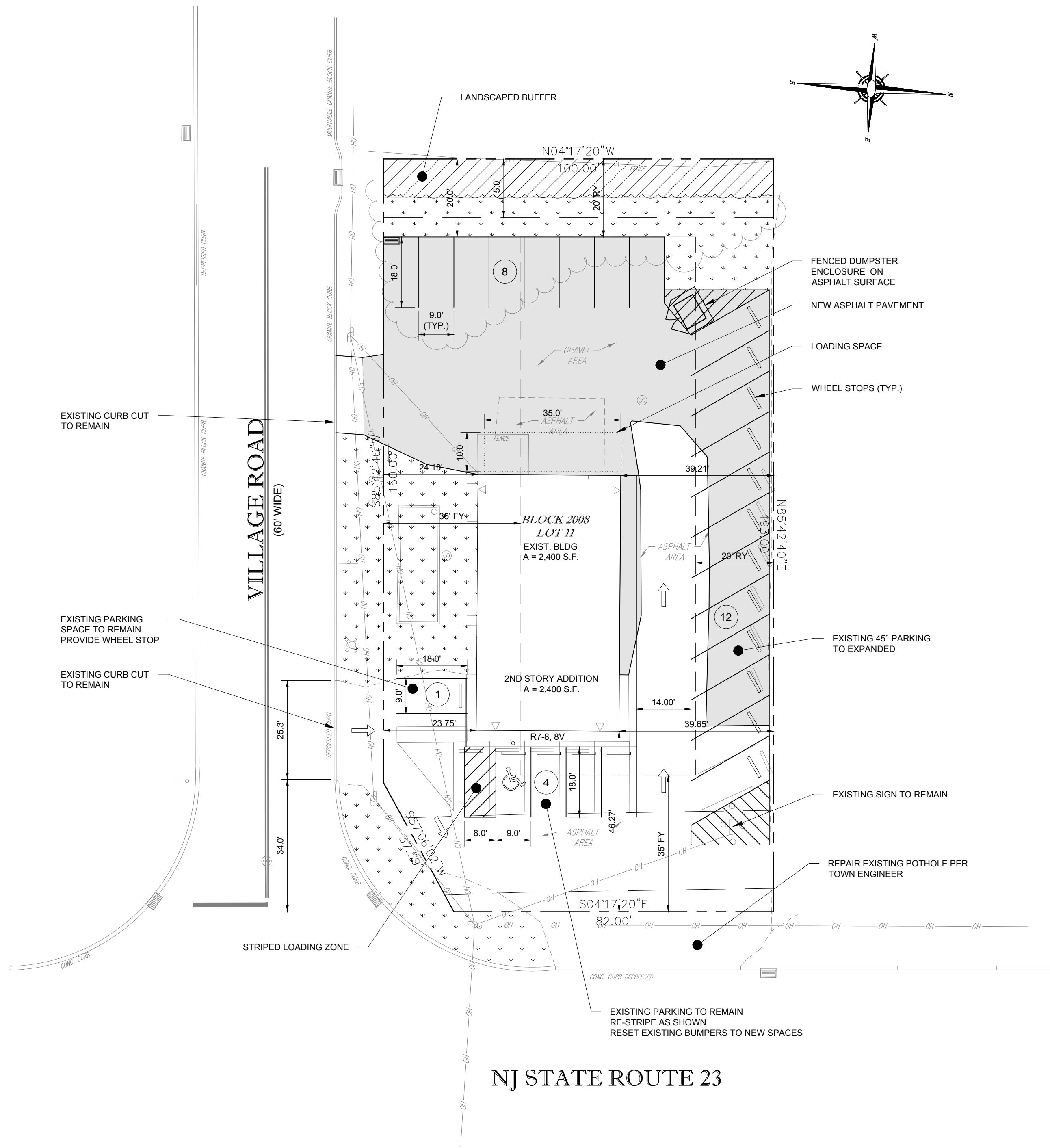
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Date: 6/29/2018

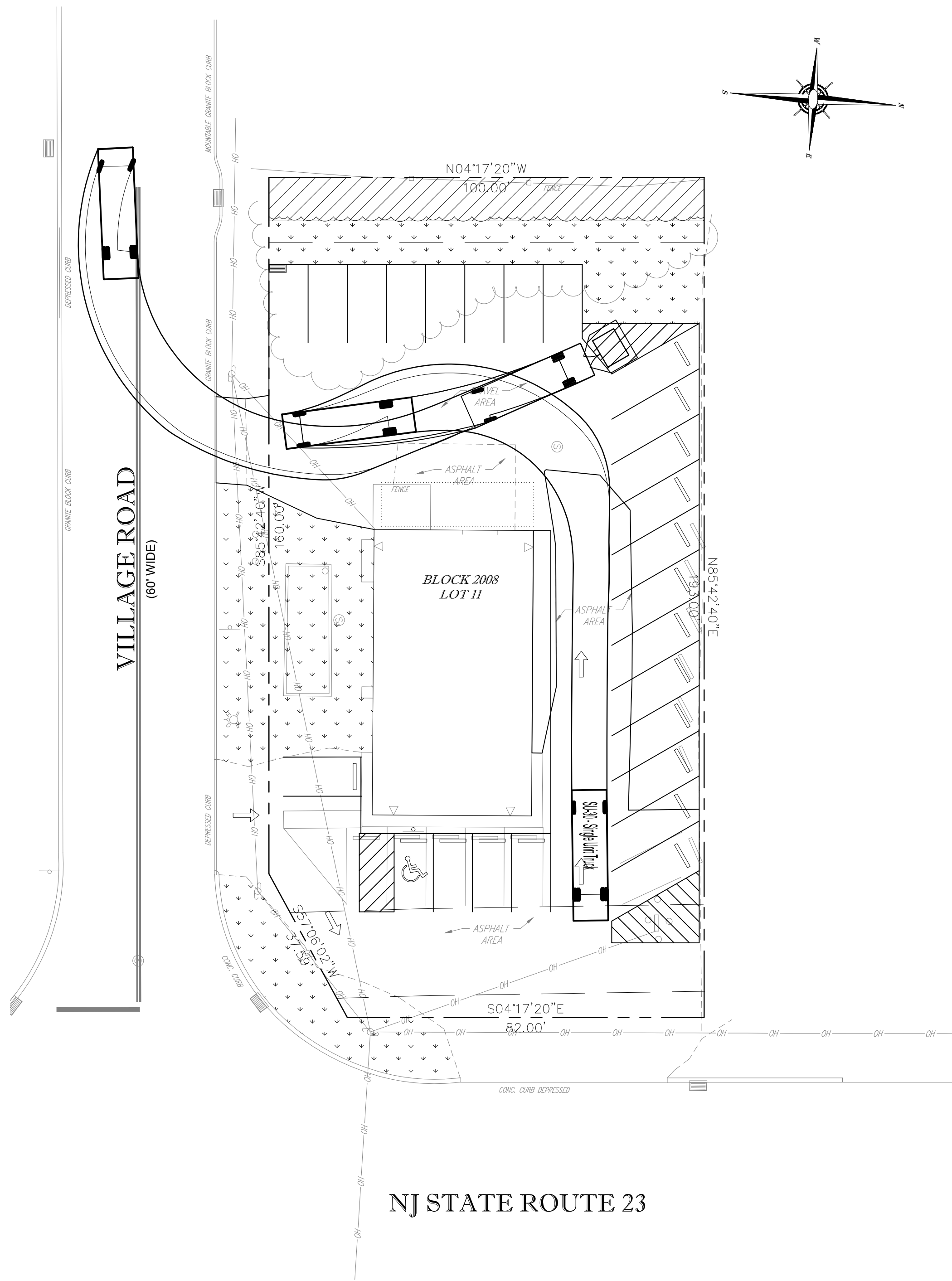
Scale: AS NOTED

Sheet #: X of X

Jeffrey A. Derosier, P.E.
NJ PROFESSIONAL ENGINEER NO. 24GE0484600



1 SITE LAYOUT PLAN
1" = 20'

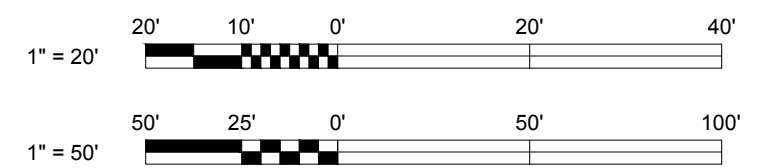


2 TRUCK TURNING MOVEMENT
1" = 20'

NOTES

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- THE NJDEP DETAILED STUDY FOR THE POMPTON RIVER ESTABLISHED THE FLOOD HAZARD AREA AT ELEV. 185 N.A.V.D. 88.
- ALL STRIPING IS TO CONFORM TO MUTCD.
- NO FRESHWATER WETLANDS ARE PRESENT ON THE SITE.

GRAPHIC SCALES



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SIGN LEGEND

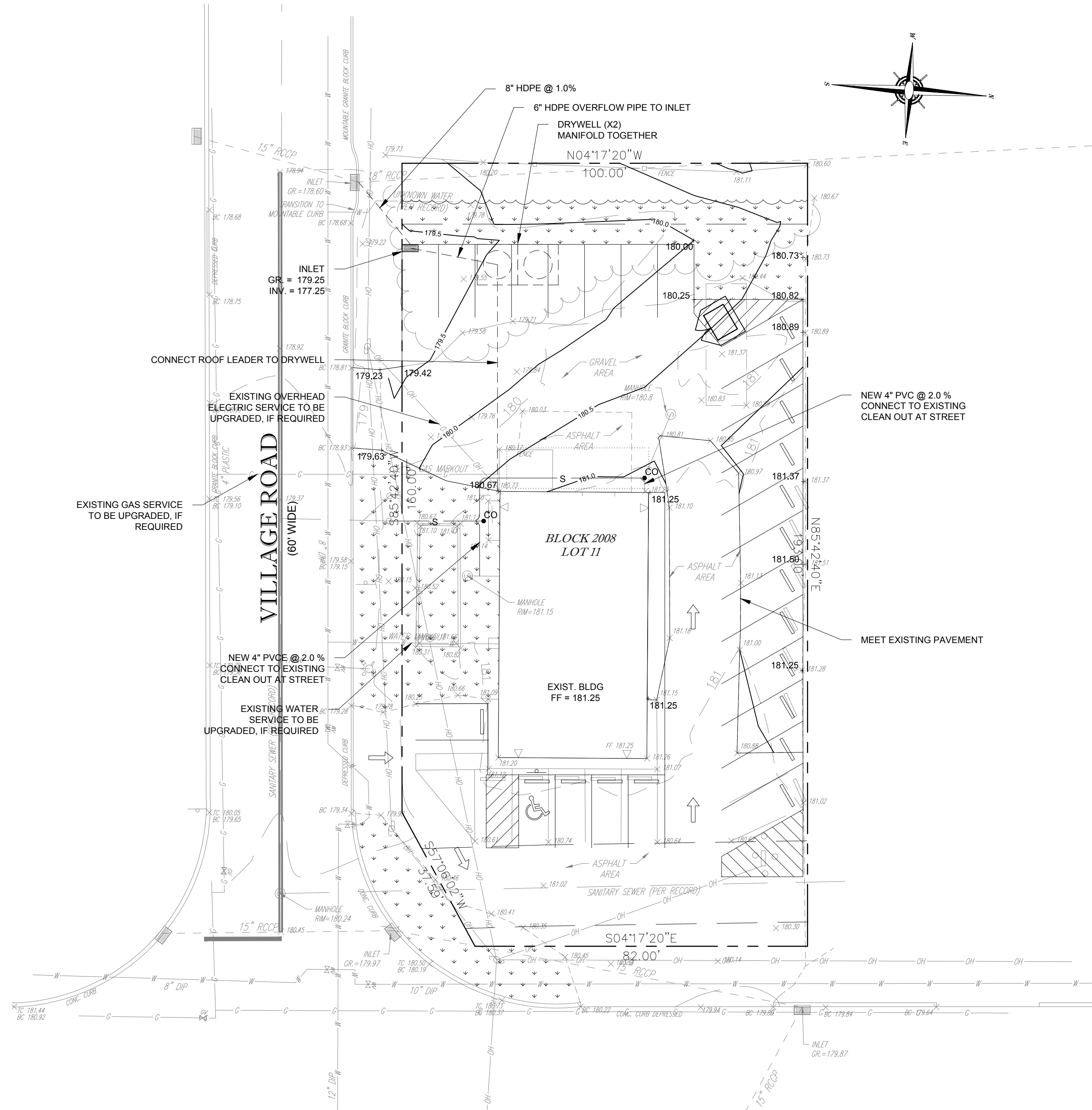


R7-8
12"x18"



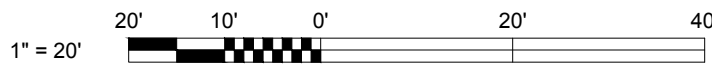
12"x6"
R7-8V

421 ROUTE 23			
BLOCK 2008		LOT 11	
PEQUANNOCK TOWNSHIP		MORRIS COUNTY	
NEW JERSEY			
LAYOUT PLAN ALTERNATE		C-201	
Derosier Engineering, LLC 35 Gates Avenue, Warren, NJ 07059 Tel. (201) 993.0665		Drawn By:	Check By:
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Jeffrey A. Derosier, P.E. NJ PROFESSIONAL ENGINEER NO. 24GE0484600		Scale:	AS NOTED
		Sheet #:	X of X



1 GRADING & UTILITY PLAN
1" = 20'

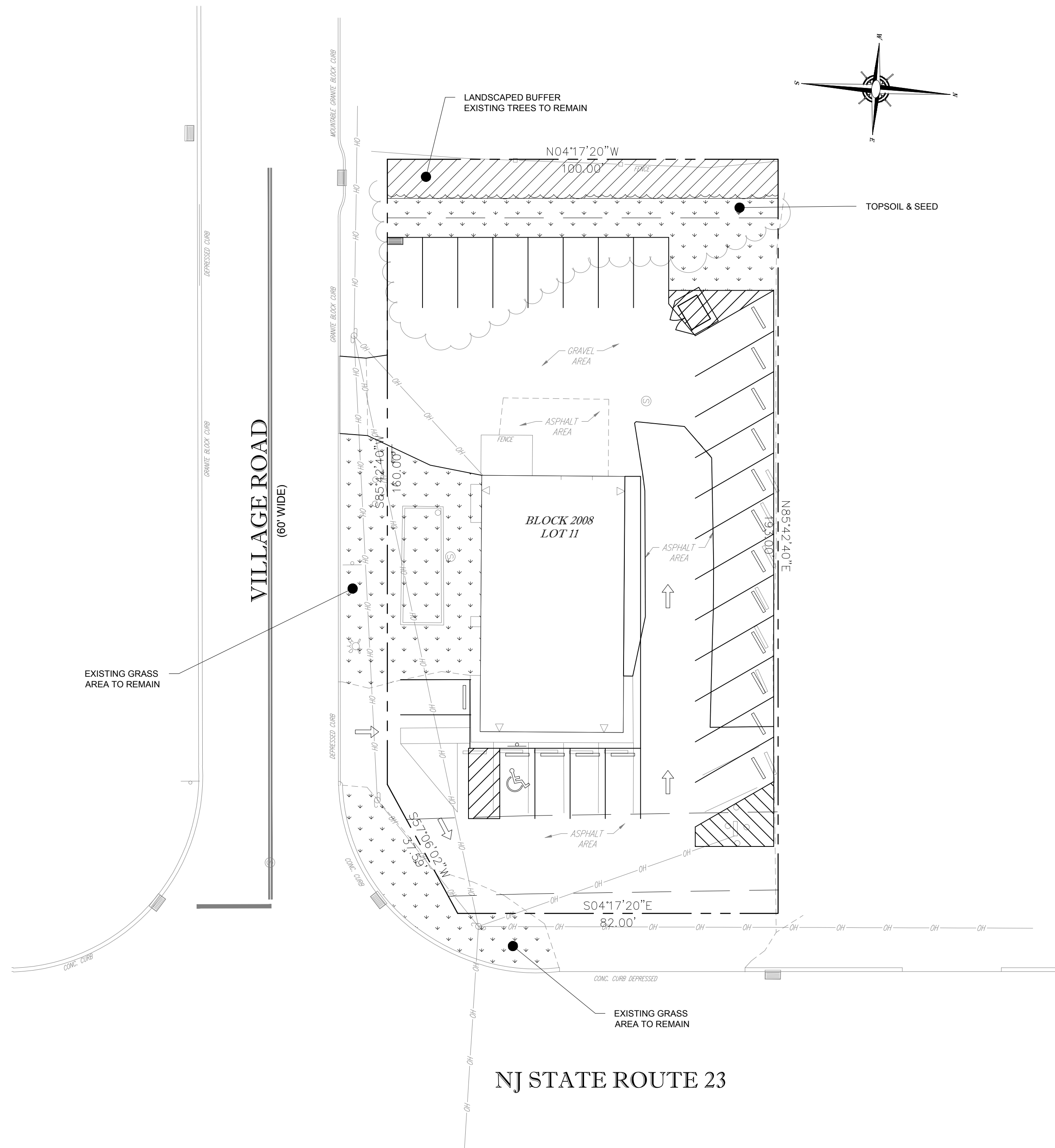
GRAPHIC SCALES



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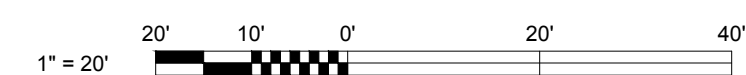
Date	Revision	Drawn By:	Checked By:
5/6/2020	EXPANDED SECOND FLOOR FOOTPRINT & PARKING	J.A.D.	J.A.D.
1/7/2020	REVISED TO SECOND FLOOR ADDITION	J.A.D.	J.A.D.
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421 ROUTE 23			
BLOCK 2008		LOT 11	
PEQUANNOCK TOWNSHIP		MORRIS COUNTY	
NEW JERSEY			
GRADING & UTILITY PLAN		C-301	
Derosier Engineering, LLC 35 Gates Avenue, Warren, NJ 07059 Tel. (201) 993.0665		Drawn By:	Check By:
		J.A.D.	J.A.D.
		Date:	6/29/2018
		Scale:	AS NOTED
Jeffrey A. Derosier, P.E. NJ PROFESSIONAL ENGINEER NO. 24GE0484600		Sheet #: X of X	

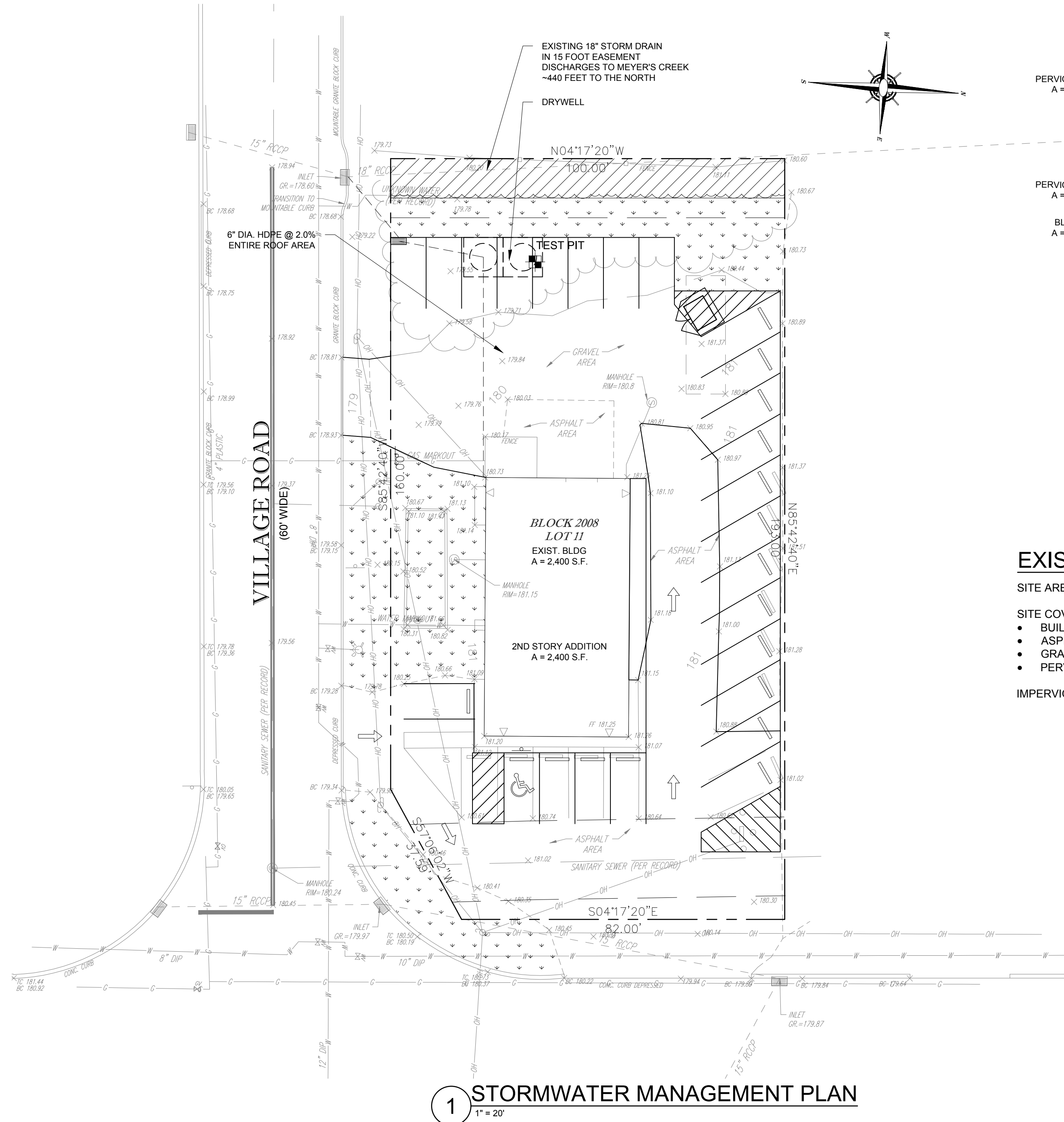


1 LANDSCAPING PLAN
1" = 20'

GRAPHIC SCALES



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5/6/2020	EXPANDED SECOND FLOOR FOOTPRINT & PARKING	J.A.D.	J.A.D.
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9/11/2018	PER TOWNSHIP COMMENT LETTER DATED 8/16/2018	J.A.D.	J.A.D.
Date	Revision	Drawn By:	Checked By:
421 ROUTE 23			
BLOCK 2008 LOT 11 PEQUANNOCK TOWNSHIP MORRIS COUNTY NEW JERSEY			
LANDSCAPING PLAN		C-401	
Derosier Engineering, LLC 35 Gates Avenue, Warren, NJ 07059 Tel. (201) 993-0665		Drawn By:	Check By:
		J.A.D.	J.A.D.
		Date:	6/29/2018
		Scale:	AS NOTED
Jeffrey A. Derosier, P.E. NJ PROFESSIONAL ENGINEER NO. 24GE04584600		Sheet #: X of X	



STORMWATER MANAGMENT ANALYSIS

- PER THE USDA WEB SOIL SURVEY, THE ENTIRE SITE IS USRHYB - URBAN LAND - RIVERHEAD COMPLEX, 3 TO 8 PERCENT SLOPES.
- THERE IS NO OFF-SITE TRIBUTARY DRAINAGE AREAS.
- ALL EXISTING RUNOFF FROM THE SITE SHEET FLOWS TO THE SURROUNDING STREETS. THERE ARE NO ON-SITE STORMWATER MANAGEMENT FACILITIES.
- THE PROPOSED DEVELOPMENT WILL INCREASE THE IMPERVIOUS COVER ON THE SITE BY 1,354 SQUARE FEET.
- DRYWELL'S WILL BE PROVIDED TO CAPTURE AND INFILTRATE THE ENTIRE EXISTING AND PROPOSED ROOF AREA OF 2,400 SQUARE FEET. THIS AREA EXCEEDS THE INCREASE IN IMPERVIOUS COVER AND WILL THEREBY REDUCE POST-DEVELOPED RUNOFF BELOW PRE-DEVELOPMENT RATES.

MAINTENANCE PLAN

THIS PLAN COVERS THE FOLLOWING STORMWATER MANGEMENTN FACILITIES.

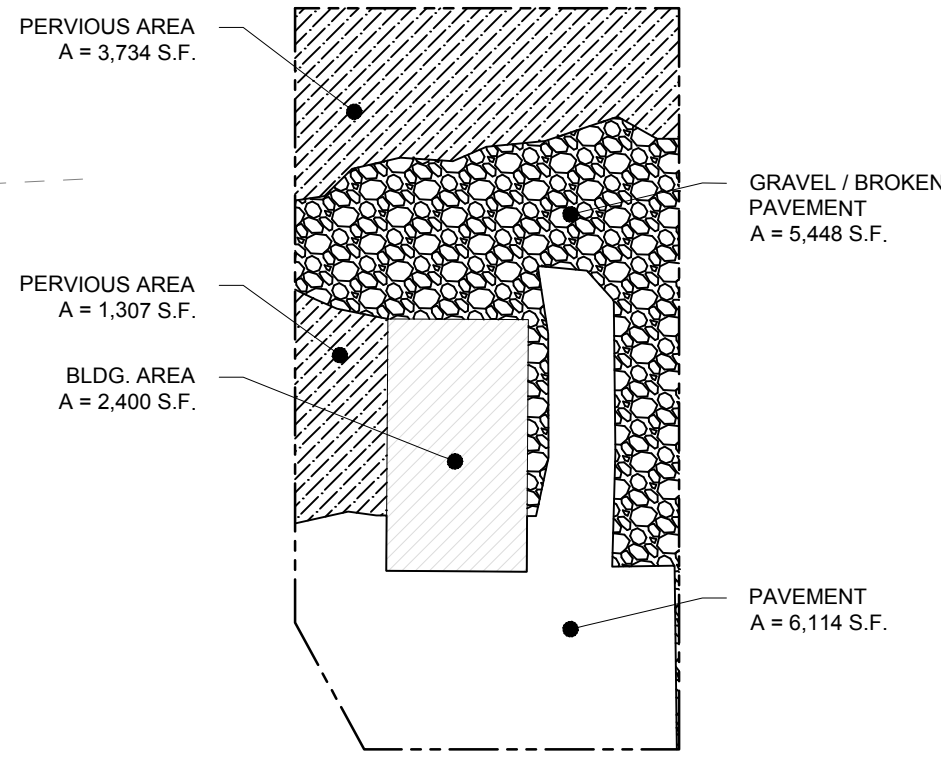
- DRYWELL
- ALL STRUCTURAL COMPONENTS MUST BE INSPECTED, AT LEAST ONCE ANNUALLY, FOR CRACKING, SUBSIDENCE, SPALLING, EROSION AND DETERIORATION.
 - COMPONENTS EXPECTED TO RECIEVE AND / OR TRAP DEBRIS MUST BE INSPECTED FRO CLOGGING AT LEAST FOUR TIMES ANNUALLY, AS WELL AS AFTER EVERY STORM EXCEEDING 1 INCH OF RAINFALL.
 - DISPOSAL OF OF DEBRIS, TRASH AND OTHER WASTE MATERIAL MUST BE DONE AT SUITABLE DISPOSAL / RECYCLING SITES AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WASTE REGULATIONS.
 - WATER LEVEL IN INSPECTION PORT SHOULD BE 4 FEET ABOVE BOTTOM WHEN DRYWELL IS FULL. ZERO FEET WHEN EMPTY.

DRYWELL CALCULATIONS

REQUIRED VOLUME BASED ON ADDED IMPERVIOUS COVER	
ADDED IMPERVIOUS COVER (A _i)	1,354 S.F.
V _r = 3 IN (0.25 FT) X A _i	339 C.F.

SOIL INFILTRATION RATE PER FIELD TESTING PERFORMED BY DEROSIER ENGINEER, LLC ON MAY 23, 2018.

I = 5.0 IN / HR



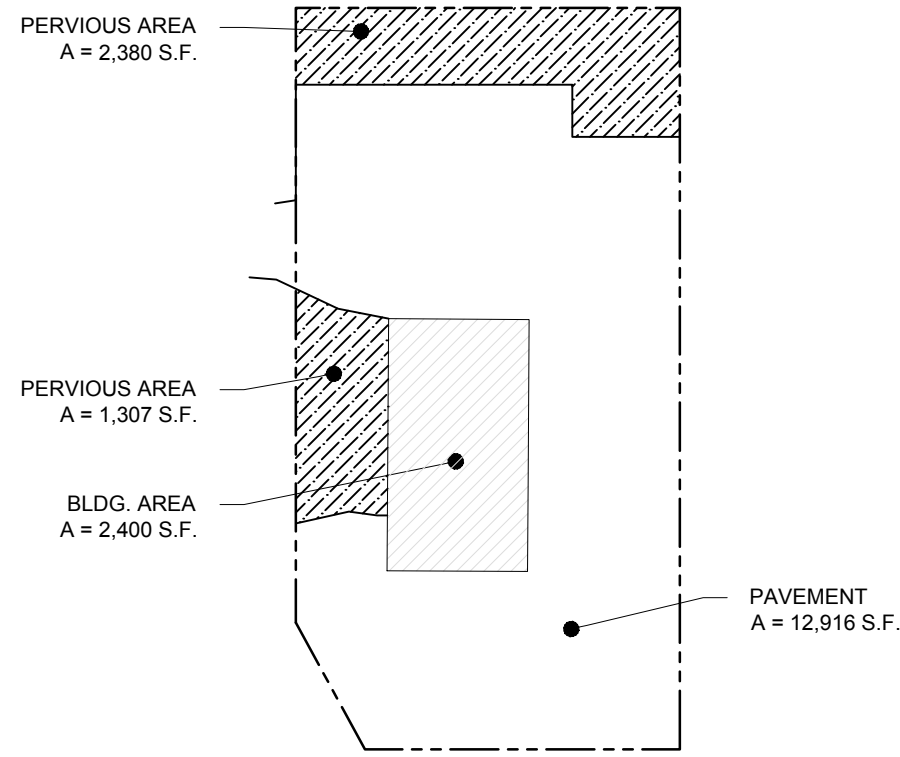
EXISTING COVER

EXISTING AREA CALCULATIONS

SITE AREA = 19,003 S.F.

- SITE COVER
- BUILDING = 2,400 S.F.
 - ASPHALT PAVEMENT = 6,114 S.F.
 - GRAVEL / BROKEN ASPHALT = 5,448 S.F.
 - PERVIOUS = 5,041 S.F.

IMPERVIOUS COVER = 13,962 S.F. / 19,003 S.F. = 73.5%



PROPOSED COVER

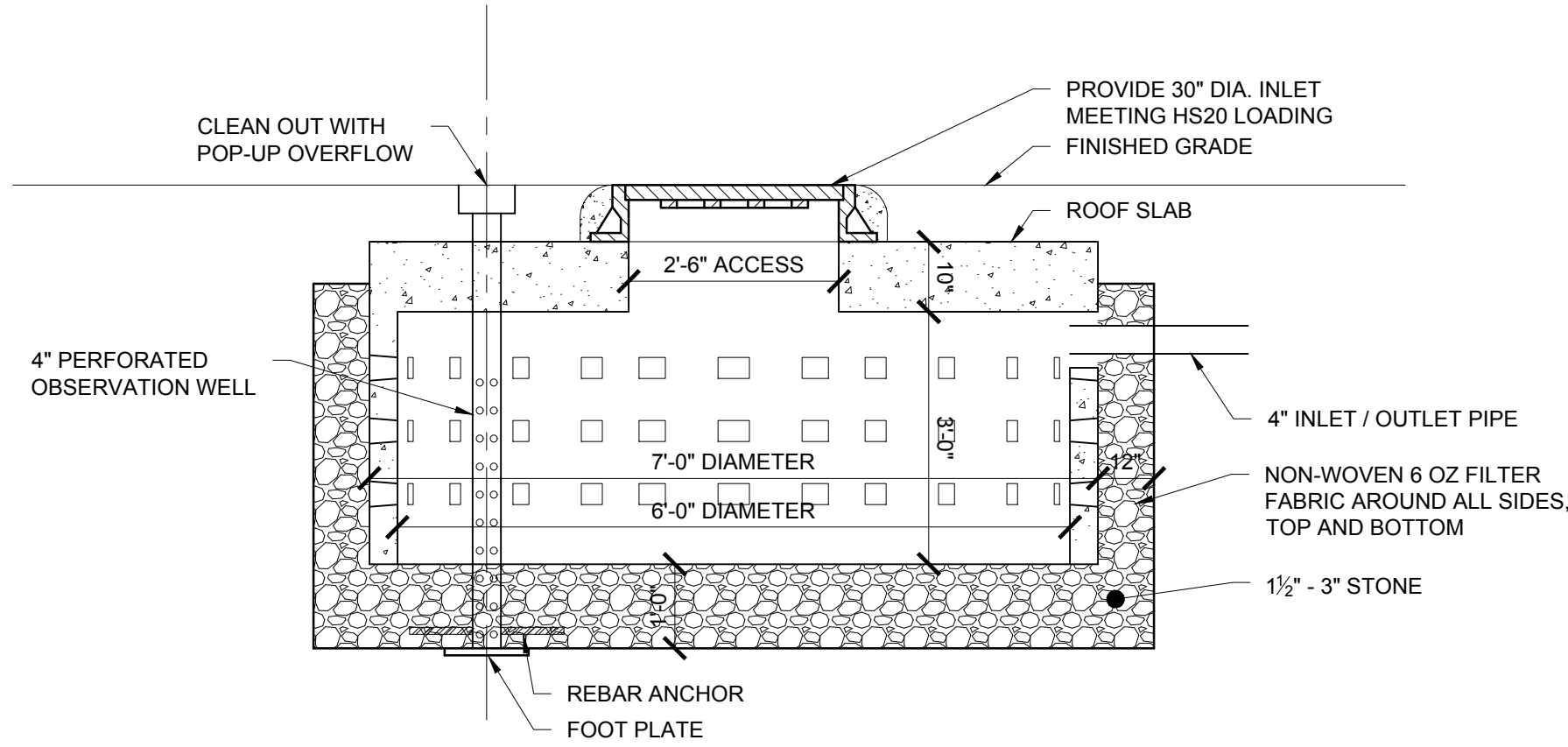
PROPOSED AREA CALCULATIONS

SITE AREA = 19,003 S.F.

- SITE COVER
- BUILDING = 2,400 S.F.
 - ASPHALT PAVEMENT = 12,916 S.F.
 - PERVIOUS = 3,687 S.F.

IMPERVIOUS COVER = 15,316 S.F. / 19,003 S.F. = 80.6%

TOTAL INCREASE IN IMPERVIOUS COVER = 1,354 S.F.

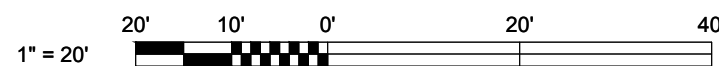


NOTES:

- REQUIRED VOLUME = 339 C.F.
- PROVIDED VOLUME
 - A. STONE BELOW = 10.00 FT. x 10.00 FT. x 1.00 FT. x 0.4 = 40.0 C.F.
 - B. VOID INSIDE RING = 84.0 C.F. (PER MANUFACTURER)
 - C. STONE OUTSIDE RING = [(10.00 FT. x 10.00 FT.) - (3.14 x ((7.00 FT)² / 4) x 3.00 FT.)] x 0.4 = 73.8 C.F.TOTAL = 40.0 C.F. + 84.0 C.F. + 73.8 C.F. = 197.8 C.F. PER DRYWELL
- DRAIN TIME:
 - EFFECTIVE DEPTH = 339 C.F. / 200 S.F. = 1.69 FT (20.3 INCHES).
 - DRAIN TIME = 20.6 INCHES / 5.0 IN/HR = 4.1 HOURS
- DRYWELL SHALL BE PEERLESS CONCRETE TYPE B-9 OR APPROVED EQUAL.
- PROVIDE INLET COVERS MEETING HS20 LOADING

SEEPAGE PIT DETAIL

GRAPHIC SCALES



USGS QUAD

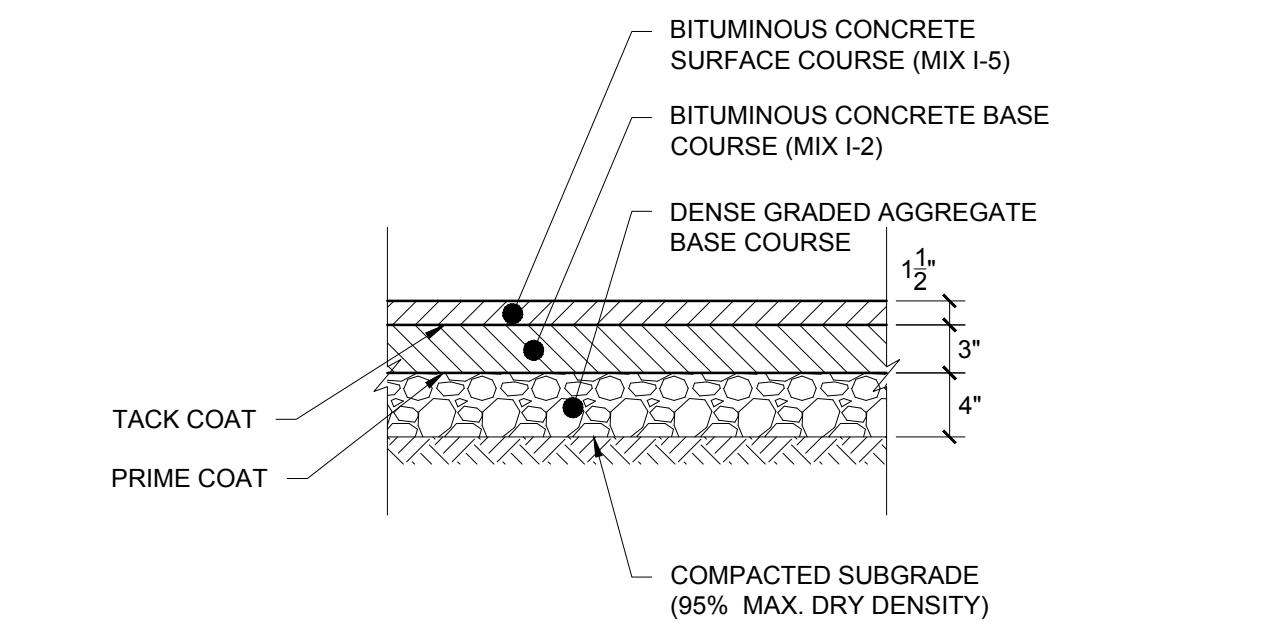
NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION PER SURVEY ENTITLED, "BOUNDARY AND TOPOGRAPHIC SURVEY FOR BLOCK 2008, LOT 11, PEQUANNOCK TOWNSHIP, MORRIS COUNTY, NEW JERSEY", PREPARED BY WEED LAND SURVEYING, DATED APRIL 28, 2017.
- UTILITIES ARE SHOWN BASED ON MARKOUT, SURFACE EVIDENCE AND RECORD MAPS ONLY AND LOCATION MUST BE VERIFIED IN THE FIELD. CONTRACTOR SHALL CALL FOR MARKOUTS BEFORE DIGGING.
- THE SITE IS LOCATED IN AN AE FLOOD ZONE PER FEMA FLOOD INSURANCE RATE MAP 345311 0003 C. BASE FLOOD ELEVATION (BFE) = 183 N.A.V.D. 88.
- THE NJDEP DETAILED STUDY FOR THE POMPTON RIVER ESTABLISHED THE FLOOD HAZARDA AREA AT ELEV. 185 N.A.V.D. 88.

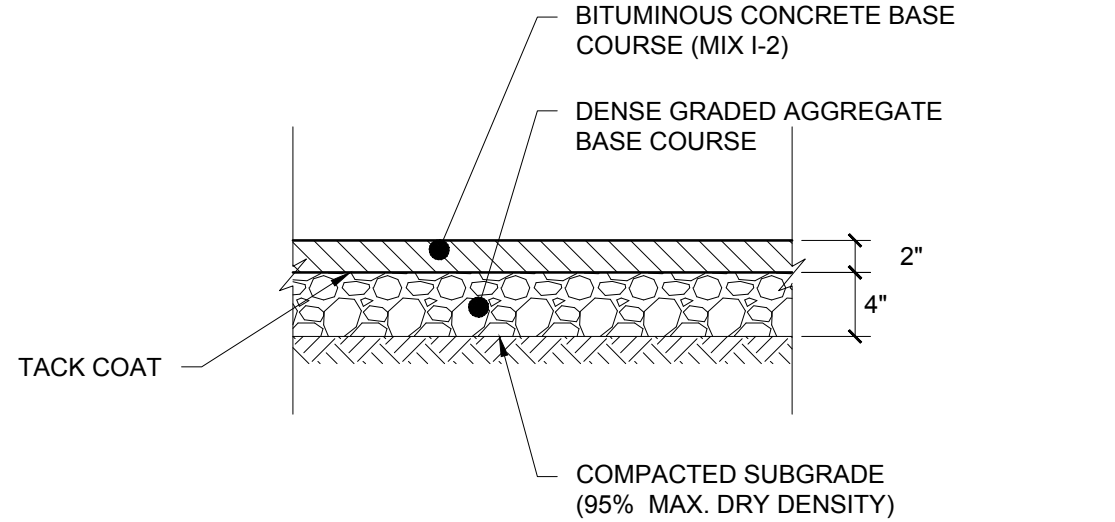
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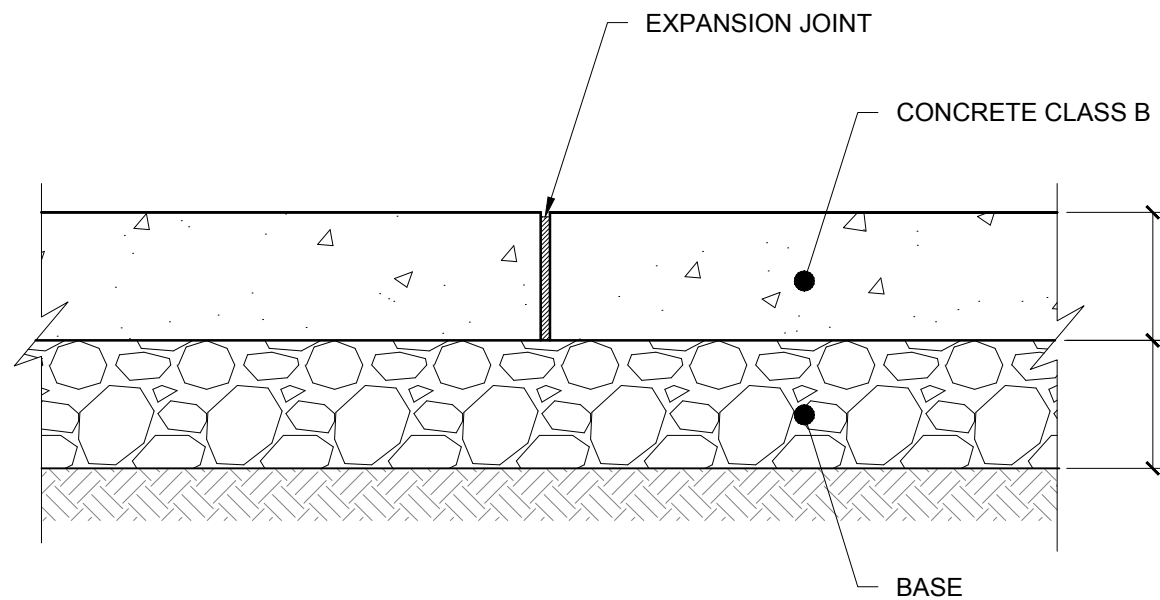
421 ROUTE 23			
BLOCK 2008		LOT 11	
PEQUANNOCK TOWNSHIP		MORRIS COUNTY	
NEW JERSEY			
STORMWATER MANAGEMENT PLAN		C-802	
Derosier Engineering, LLC 35 Gates Avenue, Warren, NJ 07059 Tel. (201) 993.0665		Drawn By:	Check By:
		J.A.D.	J.A.D.
		Project:	16029
		Date:	6/29/2018
Jeffrey A. Derosier, P.E. NJ PROFESSIONAL ENGINEER NO. 24GE0484600		Scale:	AS NOTED
		Sheet #:	X of X



1 ASPHALT PAVEMENT DETAIL - RSIS STREET
1" = 1'-0"



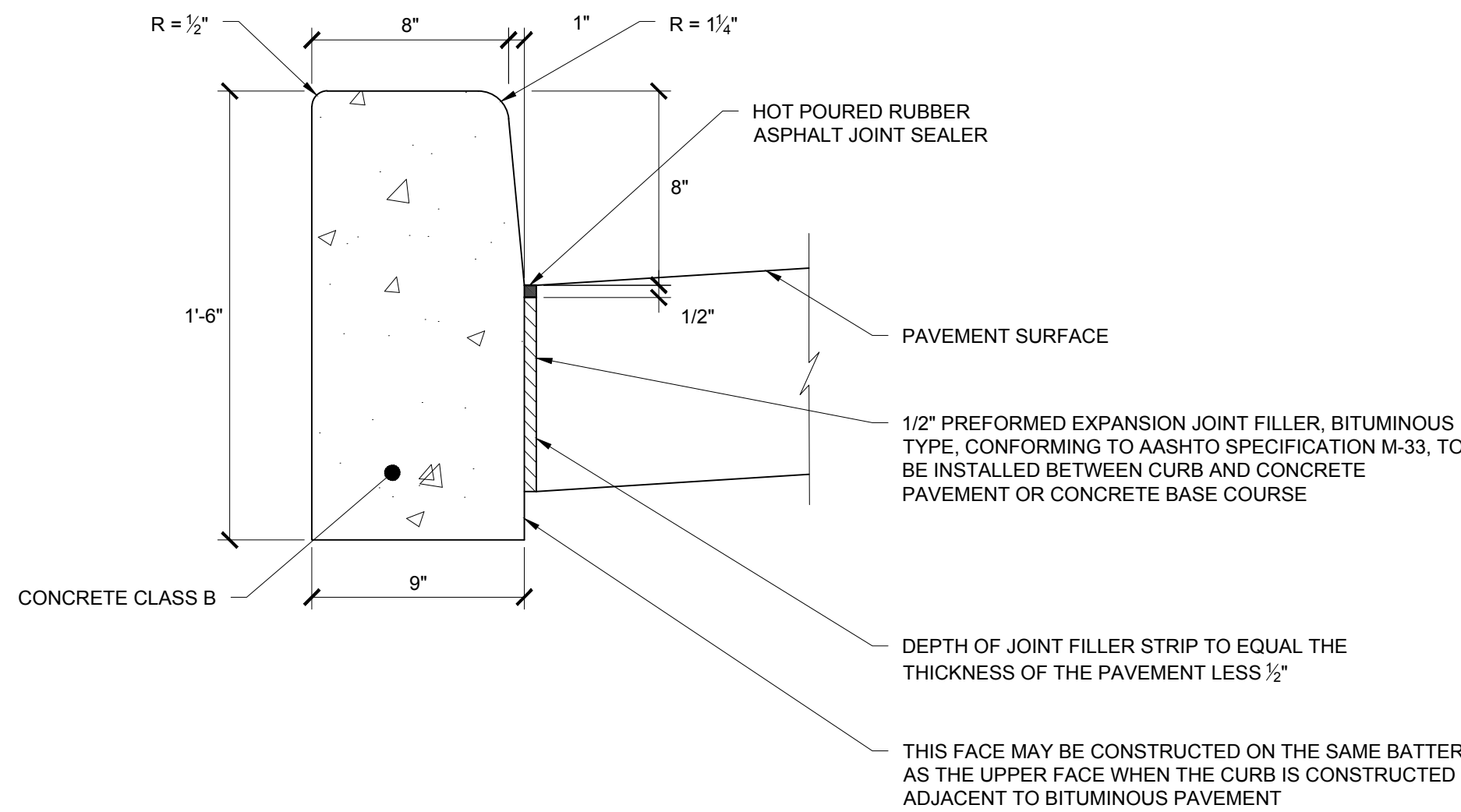
2 ASPHALT PAVEMENT DETAIL - DRIVEWAY
1" = 1'-0"



NOTES:

1. CONCRETE SHALL BE LAID IN ALTERNATE SECTIONS 10 FEET LONG. EACH SECTION SHALL BE LAID IN ONE OPERATION AS A MONOLITH. THE UPPER SURFACE SHALL BE FINISHED BEFORE THE LOWER PORTION OF THE SLAB HAS SET.
2. THE SURFACE OF THE CONCRETE SHALL BE CAREFULLY GRADED AND SCREENED WITH A STRIKE BOARD. THE SURFACED SHALL BE ROUGHED WITH A WOODEN FLOAT TO THE SATISFACTION OF THE ENGINEER.
3. ADJACENT SECTIONS ARE TO BE SEPARATED BY AN EXPANSION JOINT, COMPOSED OF A PREFORMED BITUMINOUS JOINT FILLER OR PREFORMED BITUMINOUS CELLULAR TYPE JOINT FILLER, 1/2" THICK.
4. AFTER FINISHING THE CONCRETE SHALL PRESENT AN EVEN SURFACE TO THE REQUIRED GRADE AND SHALL BE FREE FROM HOLES, MARKS, DIFFERENCE IN COLOR AND OTHER IMPERFECTIONS.

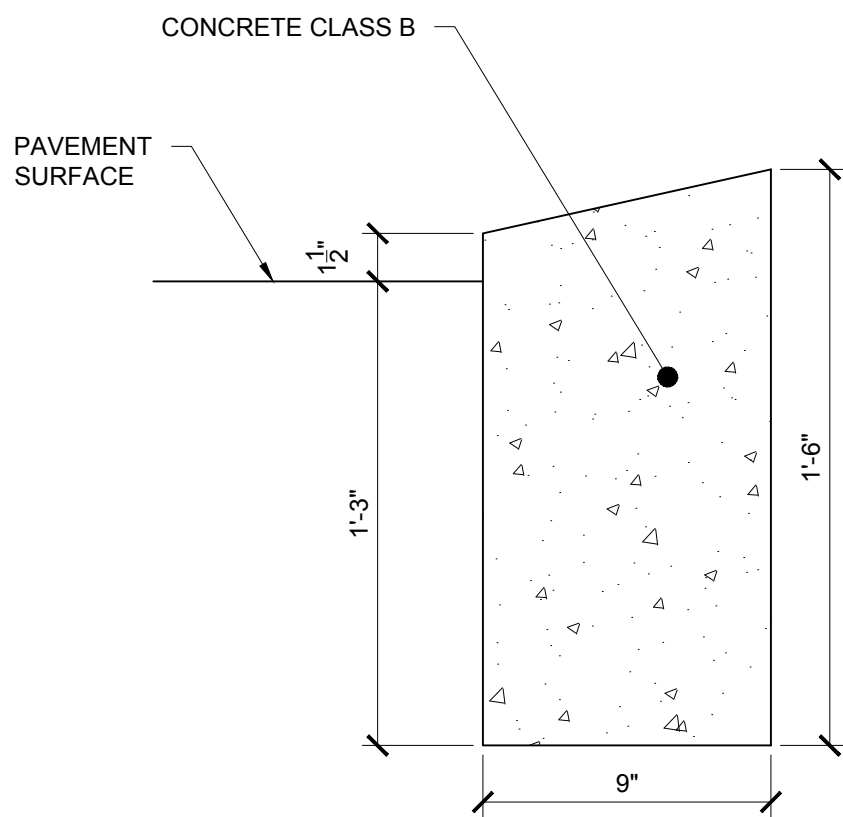
4 CONCRETE SIDEWALK DETAIL
2" = 1'-0"



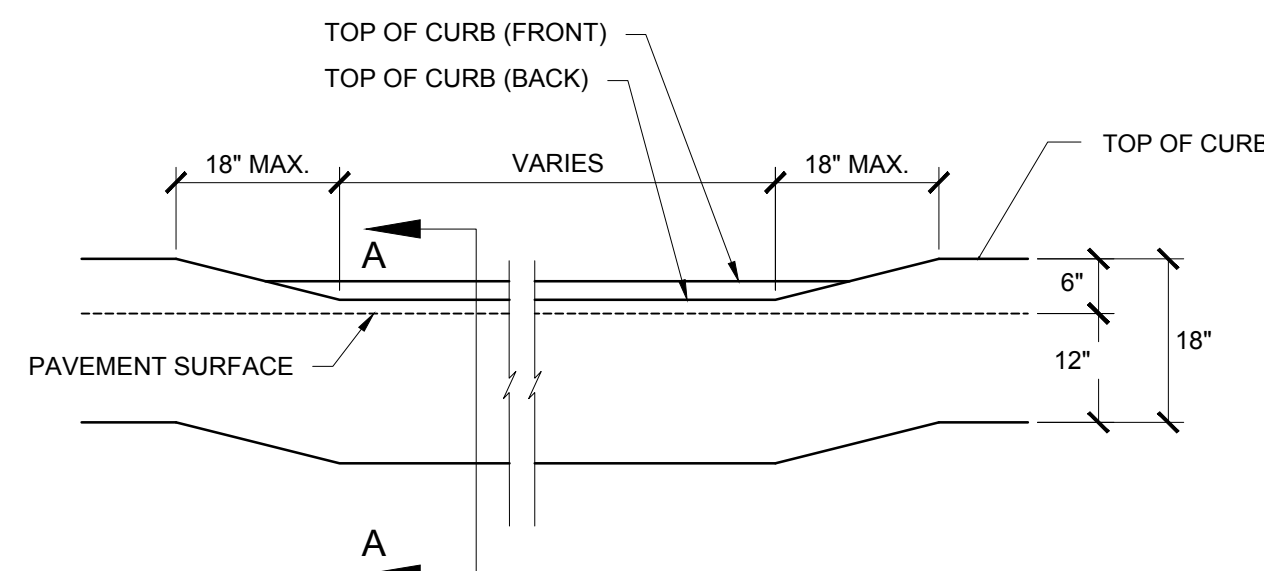
NOTES:

1. TRANSVERSE JOINTS, 1/2" WIDE, SHALL BE INSTALLED IN THE CURB AT A MAX. 20'-0" SPACING AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER.
2. FIBER JOINT FILLER SHALL COMPLY WITH THE REQUIREMENTS OF AASHTO SPECIFICATION M-213, RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
3. EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.

6 VERTICAL CONCRETE CURB DETAIL
2" = 1'-0"

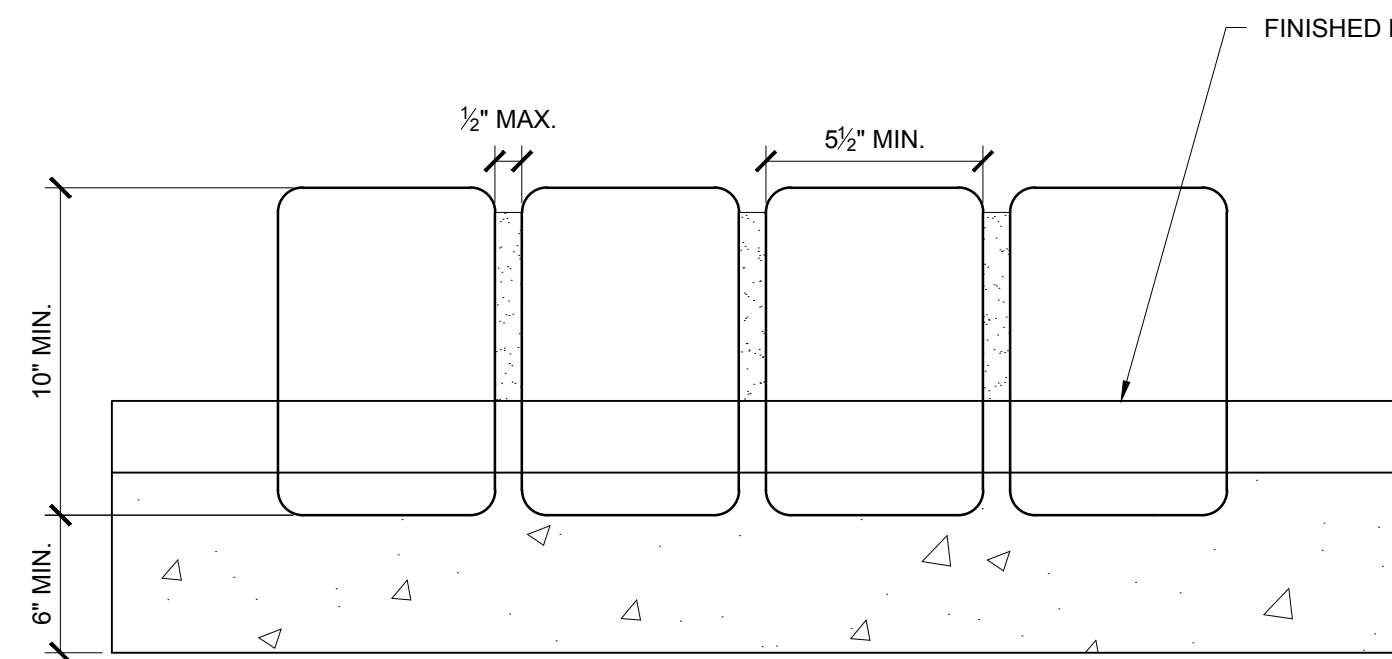


SECTION A-A



ELEVATION

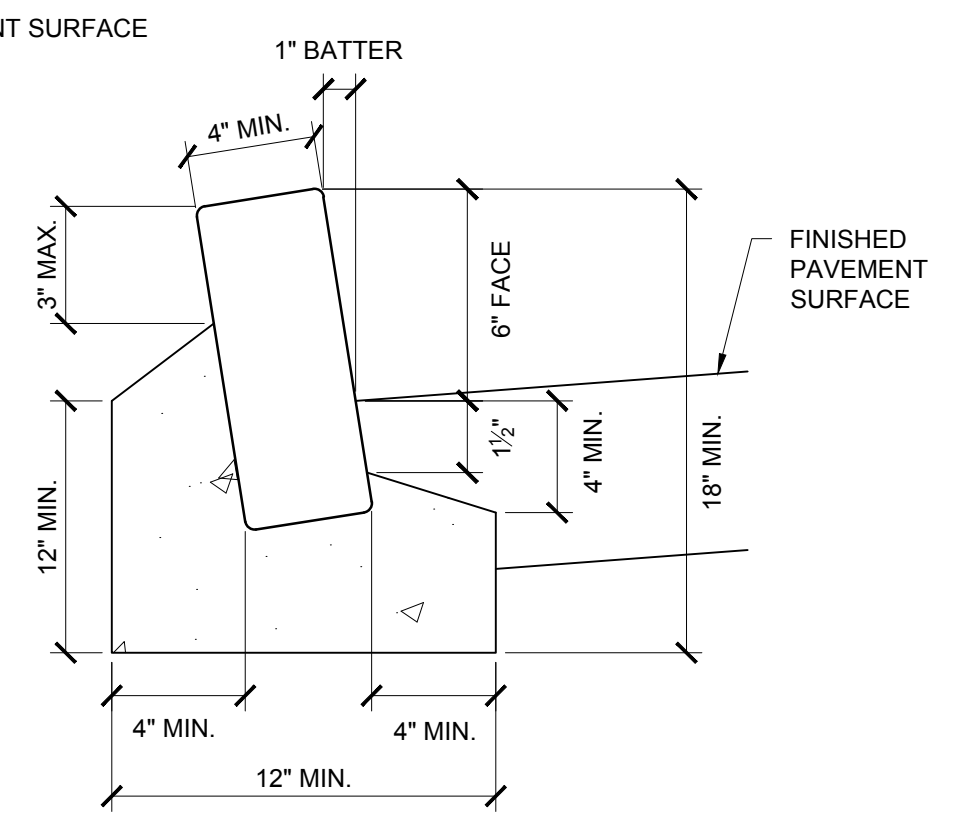
7 DEPRESSED CONCRETE CURB DETAIL
SCALE: 2" = 1'-0"



NOTES:

1. JOINTS TO BE 1/2" WIDE USING I-2 MIX CEMENT MORTAR STRUCK WITH CONCRETE TOOL.

3 VERTICAL GRANITE BLOCK CURB
2" = 1'-0"



NOTES:

1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
2. ALL POSTS AND BRACKETS SHALL BE CUT AND BENT AND THE HOLES SHALL BE PUNCHED OR DRILLED BEFORE GALVANIZING. GALVANIZING SHALL CONFORM TO THE CURRENT A.S.T.M. SPECIFICATIONS.

8 REGULATORY SIGN POST DETAIL
1" = 1'-0"

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Date	Revision	Drawn By:	Checked By:

421 ROUTE 23

BLOCK 008 LOT 11
PEQUANNOCK TOWNSHIP MORRIS COUNTY NEW JERSEY

CONSTRUCTION DETAILS

C-901

Derosier Engineering, LLC
35 Gates Avenue, Warren, NJ 07059
Tel. (201) 993.0665

Drawn By: J.A.D. Check By: J.A.D.

Project: 16029

Date: 6/29/2018

Scale: AS NOTED

Sheet #: X of X

Jeffrey A. Derosier, P.E.
NJ PROFESSIONAL ENGINEER NO. 24GE0484600

GRAPHIC SCALES

